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ABBREVIATIONS:

ABV ABOVE	FB FACE BRICK	MH MANHOLE	RAD RADIUS
BRC BEARING	FOC FACE OF CONCRETE	MFR MANUFACTURE (ER)	R0W0 REDWOOD
ASC ABOVE SUSPENDED CEILING	FOF FACE OF FINISH	MAS MASONRY	REF REFERENCE
ACC ACCESS	ROM FACE OF MASONRY	MO MASONRY OPENING	REFR REFRIGERATOR
ACT ACCESS PANEL	FOS FACE OF STUDS	MTL MATERIAL (S)	REG REGISTER
ADH ADHESIVE	FF FACTORY FINISH	MAX MAXIMUM	RENF REINFORCE (D), (ING)
ADJ ADJACENT	FAS FASTEN, FASTENER	MCH MECHANIC (AL)	RCP REINFORCED
ADJT ADJUSTABLE	FBD FIBERBOARD	MC MEDICINE CABINET	RCR REINFORCE PIPE
AGG AGGREGATE	FGL FIBERGLASS	MD MEDIUM	RESIL RESILIENT
A/C AIR CONDITIONING	FIN FINISH (ED)	MBR MEMBER	RET RETURN
ALT ALTERNATE	FTE FINISHED FLOOR ELEVATION	MMB MEMBRANE	RA RETURN AIR
ALUM ALUMINUM	FL FINISHED FLOOR LINE	MET METAL	REV REVISION (S), REVISED
AB ANCHOR BOLT	FA FIRE ALARM	M METER (S)	RH RIGHT HAND
AND AND/ORED	FBRK FIRE BRICK	MM MILLIMETER (S)	R RIGHT OF WAY
APX APPROXIMATE	FE FIRE EXTINGUISHER	MN MINIMUM	RSE RISER
AD AREA DRAIN	FEC FIRE EXTINGUISHER CABINET	MIR MIRROR	RD ROOF DRAIN
ASPH ASPHALT	FHS FIRE HOSE STATION	MIC MISCELLANEOUS	RFG ROOFING
AUTO AUTOMATIC	PP FRIERPLACE	MLD MOLDING, MOULDING	RM ROOM
	FRT FIRE-RETARDANT	MIR MOP RECEPTOR	RSC ROUGH SAWN CEDAR
	FLG FLASHING	MT MOUNT (ED), (ING)	RLK ROWLOCK
	FLX FLEXIBLE	MOV MOVABLE	SGL SAFETY GLASS
BSMT BASEMENT	FLR FLOOR (ING)	MULL MULLION	SCH SCHEDULE
BRL BEARING PLATE	FLCO FLOOR CLEANOUT		SCN SCREEN
BM BENCH MARK	FD FLOOR DRAIN		STG SEATING
BET BETWEEN	FPL FLOOR PLATE	NAT NATURAL	SECT SECTION
BVL BEVELED	FLU FLUORESCENT	NRC NOISE REDUCTION COEFFICIENT	SSD SEE STRUCTURAL DRAWINGS
BIT BITUMINOUS	FTG FOOTING	NOM NOMINAL	SHTG SHEATHING
BLK BLOCK	FND FOUNDATION	NMT NONMETALIC	SHT SHEET
BLKG BLOCKING	FR FRAME (D), (ING)	N NORTH	SH SHEET GLASS
BD BOARD	FRA FRESH AIR	NIC NOT IN CONTRACT	SH SHELF, SHELVING
BS BOTH SIDES	FS FULL SIZE	NTS NOT TO SCALE	SMA SIMILAR
BW BOTH WAYS	FBO FURNISHED BY OTHERS		SOLD SOLDIER COURSE
BOT BOTTOM	FUR FURRED (ING)	NAT NATURAL	SC SOLID CORE
BRK BRICK	FT FUTURE	NRC NOISE REDUCTION COEFFICIENT	SP SOUNDPROOF
BRZ BRONZE		NOM NOMINAL	S SOUTH
BLDG BUILDING		NMT NONMETALIC	SPK SPEAKER
BUR BUILT UP ROOFING		N NORTH	SPL SPECIAL
		NIC NOT IN CONTRACT	SPEC SPECIFICATION (S)
		NTS NOT TO SCALE	SQ SQUARE
CAB CABINET			SS STAINLESS STEEL
CPT CARPET (ED)		OC ON CENTER (S)	STD STANDARD
CMNT CASEMENT		OPG OPENING	STA STATION
CI CAST IRON		OPP OPPOSITE	STL STEEL
CIPC CAST-IN-PLACE CONCRETE		OPP OPPOSITE	STOR STORAGE
CST CAST STONE		OPH OPPOSITE HAND	SD STORM DRAIN
CB CATCH BASIN		OPS OPPOSITE SURFACE	STRICT STRUCTURAL
CLG CEILING		OD OUTSIDE DIAMETER	SCT STRUCTURAL CLAY TILE
CHT CEILING HEIGHT		OA OVERALL	SUSP SUSPENDED
CEM CEMENT		OH OVERHEAD	SYS SYSTEM
CM CENTIMETER(S)			TEL TELEPHONE
CER CERAMIC			TV TELEVISION
CT CERAMIC TILE		NAT NATURAL	THK THICK (NESS)
CMT CERAMIC MOSAIC (TILE)		NRC NOISE REDUCTION COEFFICIENT	TKG TONGUE & GROOVE
CHAM CHAMFER		NOM NOMINAL	TC TOP OF CURB
CIR CIRCLE		NMT NONMETALIC	TC TOP OF GRADE
CLR CLEAR (ANCE)		N NORTH	TP TOP OF PAVEMENT
COL COLUMN		NTS NOT TO SCALE	TSL TOP OF SLAB
COMB COMBINATION			TS TOP OF STEEL
CONC CONCRETE		PNT PAINT (ED)	TW TOP OF WALL
CMU CONCRETE MASONRY UNIT		PNL PANEL	TB TOWEL BAR
CONST CONSTRUCTION		PB PANIC BAR	TBD TO BE DETERMINED
CONT CONTINUOUS OR CONTINUE		PTD PERFOR TOWEL	T TYPICAL
CONTR CONTRACT (OR)		DISPENSER	
CTL CONTRACT LIMIT LINE		PAR PARALLEL	
CJ CONTROL JOINT		PK PARKING	
CG CORNER GUARD		PBD PARTICLE BOARD	
COBR CORRUGATED		PTN PARTITION	
CHL COUNTER FLASHING		PV PAVE (D), (ING)	
CRS COURSE (S)		PVMT PAVEMENT	
CF CUBIC FOOT		PED PEDestal	
CY CUBIC YARD		PERF PERFORATE (D)	
		PERI PERIMETER	
DP DAMPROOFING		PLAS PLASTER	
DL DEAD LOAD		P.L. PLASTIC LAMINATE	
DEMO DEMOLISH, DEMOLITION		PL PLATE	
DFE DESIGN FLOOD ELEVATION		PGC PLATE GLASS	
DTL DETAIL		PW PWOOD	
DIAG DIAGONAL		PT POINT	
DIAM DIAMETER		PVC POLYVINYL CHLORIDE	
DM DIMENSION		PTC POST-TENSIONED	
DIV DIVISION		CONCRETE	
DK DOOR		PCF POUNDS PER CUBIC	
DA DOUBLEACTING		FOOT	
DH DOUBLE HUNG		PUL POUNDS PER LINEAL	
DS DOWNSPOUT		FOOT	
D DRAIN		P31 POUNDS PER SQUARE	
DWR DRAWER		PSI POUNDS PER SQUARE	
DF DRINKING FOUNTAIN		PCH PRECAST CONCRETE	
DW DUMBWATER		PPB PREFABRICATE (D)	
		PPN PREFINISHED	
EA EACH		PSC PRESTRESSED	
EF EACH FACE		PLM PROPERTY LINE	
F EAST		QT QUARRY TILE	
ELEC ELECTRIC (AL)			
EP ELECTRIC PANELBOARD			
EWG ELECTRIC WATER COOLER			
EL ELEVATION			
ELEV ELEVATOR			
EMER EMERGENCY			
EQ EQUAL			
EST ESTIMATE			
EXCA EXCAVATE			
EXH EXHAUST			
EXIG EXISTING			
EB EXPANSION BOLT			
EXP EXPOSED			
EXT EXTERIOR			
EXX EXTRA STRONG			

GENERAL NOTES:

- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
- WHEN WORK IS NOT SPECIFICALLY NOTED BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE DOCUMENTS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE OBTAINED FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID.
- CONTRACTOR SHALL BE EXPERIENCED IN THIS TYPE OF WORK. NO ALLOWANCES WILL BE MADE FOR LACK OF EXPERIENCE.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION.
- ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED, AS REQUIRED BY CODE.
- DAMAGED OR DISRUPTED EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO LANDSCAPING, LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHALL BE REPLACED AT THE END OF CONSTRUCTION TO THE SAME STANDARDS OF QUALITY AS EXISTED PRIOR TO CONSTRUCTION.
- DISRUPTED ELECTRICAL AND WATER LINES SHALL BE RE-ROUTED DURING CONSTRUCTION AND ARE TO REMAIN IN CONTINUOUS SERVICE UNLESS OTHERWISE INDICATED OR INSTRUCTED.
- NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN DIRECTION FROM THE ARCHITECT.
- WHERE LACK OF INFORMATION OR DISCREPANCY EXISTS IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING.
- UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC SHALL BE RUN CONCEALED AND FRAMING SHALL BE CORRECTLY SIZED TO ACCOMPLISH THIS WITHOUT CREATING VARIATIONS IN THE WALL PLANE.
- PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE, AND ACCESSORIES.
- WHEN A PRODUCT, SYSTEM OR ASSEMBLY IS CALLED FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- PRIOR TO PROCEEDING WITH WORK, CONTRACTOR SHALL COORDINATE WITH EACH TRADE THE LOCATIONS OF SLEEVES OR ACCESSORIES INVOLVING OTHER TRADES.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD TRACEABLE TO MATERIALS OR WORKMANSHIP PROVIDED OR PERFORMED BY THE CONTRACTOR, SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO THE CONTRACT BEING AWARDED. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR DEFECTIVE MATERIALS. AT ANY TIME DURING THE CONSTRUCTION PERIOD, OWNER'S REPRESENTATIVES AND THE ENGINEER RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENTED HEREIN OR ON THE DRAWINGS AND AT NO COST TO THE OWNER.

SITE CONDITIONS

- LOCATE, IDENTIFY, AND PROTECT ALL EXISTING UTILITIES ENCOUNTERED DURING THE WORK. IF ANY, NOTIFY UTILITY COMPANIES OF IMPENDING WORK.
- ENSURE THAT ALL UTILITY AND OTHER SERVICES WHICH MAY BE DISTURBED DURING CLOSE EXCAVATION ARE TEMPORARILY STAYED AND BRACED IN POSITION DURING THE WORK.
- PROVIDE SLEEVES APPROPRIATE TO CONSTRUCTION WHERE NEW PIPES, CONDUIT, AND DUCTS PENETRATE WALLS AND FLOORS. FILL VOIDS WITH FIRE SAFING INSULATION OR FOAM PENETRATION SEALANT.
- PROGRESS CLEANING: REMOVE DEBRIS FROM INTERIOR OF BUILDING ON A DAILY BASIS AND STORE TEMPORARILY IN COMMERCIAL TRASH CONTAINERS. REMOVE DEBRIS FROM BUILDING SITE AT INTERVALS REQUIRED TO MINIMIZE OVERFLOW AND SPILLAGE. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL IN A LAWFUL MANNER.
- PROVIDE TEMPORARY TOILET FACILITIES FOR CONSTRUCTION USE. USE OF THE OWNERS TOILET FACILITIES WILL NOT BE PERMITTED.

FINAL COMPLETION

- DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE WASTE MATERIALS FROM THE SITE AND DISPOSE IN A LAWFUL MANNER.
- COMPLETE CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF SUBSTANTIAL COMPLETION AND MAINTAIN BUILDING IN CLEANED CONDITION UNTIL FINAL COMPLETION
- REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED FOR PROTECTION OF THE WORK DURING CONSTRUCTION.
- REMOVE LABELS, CLEAN GLASS SURFACES, AND DUST AND WIPE CLEAN ALL PRODUCTS, MATERIALS, SYSTEMS, FINISHES, EQUIPMENT, AND SURFACES.

ARCHITECTS DISCLAIMER

- THE ARCHITECTS CERTIFICATION OF THE DOCUMENTS IS LIMITED TO THE DOCUMENTS AND THE INFORMATION CONTAINED IN THE DOCUMENTS.
- THE ARCHITECTS CERTIFICATION SHALL NOT EXTEND TO REVISIONS TO THE DOCUMENTS OR REVISIONS IN THE INFORMATION CONTAINED IN THE DOCUMENTS WHERE SUCH REVISIONS WERE NOT PERFORMED AND/OR AUTHORIZED IN WRITING BY THE ARCHITECT.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR REVISIONS TO THE DOCUMENTS OR REVISIONS IN INFORMATION CONTAINED IN THE DOCUMENTS AND WHERE SUCH REVISIONS HAVE BEEN MADE BY OTHERS TO PRODUCTS, MATERIALS, FINISHES, DIMENSIONS, SYSTEMS, ASSEMBLIES, OR AESTHETIC INTENT.

FBC BUILDING 8th EDITION

AREAS ARE CALCULATED FROM INSIDE OF EXTERIOR WALLS AND/OR FACE OF THE INTERIOR GLAZING, LESS VERTICAL SHAFTS. NET AREAS ARE CALCULATED FROM THE INTERIOR SIDE OF EXTERIOR WALLS EXCLUDING AREAS AS DESCRIBED IN FBC 2020.

APPLICABLE CODES:

- FLORIDA BUILDING CODE, 2023 8TH EDITION
- FLORIDA MECHANICAL CODE, 2023 8TH EDITION
- FLORIDA PLUMBING CODE, 2023 8TH EDITION
- FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, FBC CHAPTER, 2023 8TH EDITION
- FLORIDA FIRE PREVENTION CODE (FFPC), 2023 8TH EDITION
- NFPA 70, NATIONAL ELECTRICAL CODE (NEC), 2020 EDITION
- NFPA 101-18 (LIFE SAFETY CODE)
- LEVEL 2 ALTERATION OF WORK PER FBC EXISTING BUILDING (SECTION 604)

All applicable reference standards can be found in chapter 35 of the 2023 FBC.

TYPE OF OCCUPANCY:

(PER SECTION 303)

OCCUPANCY:

GROUP B (BUSINESS)

TYPE OF CONSTRUCTION:

(PER CHAPTER 6, TABLE 601)

TYPE V-B (NOT SPRINKLED) EXISTING NO CHANGES

FLOOD ZONE: AE (EL8)

ALLOWABLE BLDG. HEIGHT

(PER TABLE 504.3)
(FBC 2023 - 8TH EDITION)

FLORIDA CODE SUMMARY

PROJECT DATA

BUILDING HEIGHT: 40'

BUILDING HEIGHT: 13'-8" HEIGHT EXISTING NO CHANGES

NO. STORIES:

(PER TABLE 504.4)
(FBC 2023 - 8TH EDITION)

FLORIDA CODE SUMMARY

PROJECT DATA

ALLOWED STORIES ABOVE THE GRADE: 2

STORIES PROVIDED: 1

OCCUPANT LOAD:

(PER TABLE 1004.5)
(FBC 2023 - 8TH EDITION)

FUNCTION OF SPACE:

AREA/LINEAR FT:

OCC LOAD FACTOR:
FBC Chop. 10 Table: 1004.5

OCC LOAD FACTOR:
FFPC Table 7.3.1.2

CONF. ROOM

127 S.F.

150 S.F. = 0.84 = 1

150 S.F. = 0.84 = 1

STORAGE

177 S.F.

150 S.F. = 1.18 = 1

150 S.F. = 1.18 = 1

LOUNGE

214 S.F.

150 S.F. = 1.42 = 2

150 S.F. = 1.42 = 2

CONF. ROOM

186 S.F.

150 S.F. = 1.24 = 1

150 S.F. = 1.24 = 1

LOUNGE

226 S.F.

150 S.F. = 1.50 = 2

150 S.F. = 1.50 = 2

OFFICE

387 S.F.

150 S.F. = 2.58 = 3

150 S.F. = 2.58 = 3

TOTAL BLDG OCCUPANCY:

FBC: 10 OCCUPANTS

FFPC: 10 OCCUPANTS

OCCUPANCY SEPARATION:

(PER SEC. 6.1.14 & 14.1.2 OF NFPA 101)
(PER SEC. 508.3 & 508.4 FBC 2023-8TH EDITION)

NOT REQUIRED

NO SEPARATION REQUIREMENT

THRESHOLD BLDG

-PER SECTION 110.8 THRESHOLD BUILDING (FBC 2023-8TH EDITION)
-PER FLORIDA STATUTE 553.71(12)

THIS BUILDING IS NOT A THRESHOLD BUILDING

ALLOWABLE BLDG AREA:

(PER TABLE 506.2 AND SEC. 506)
(FBC 2023-8TH EDITION)

BY CODE:

TOTAL ALLOWABLE BUILDING AREA PER FLOOR: 9,000 S.F.

EXISTING BUILDING AREA: AREA OF WORK:

7,442 S.F.

1,518 S.F.

MEANS OF EGRESS:

TRAVEL DISTANCE
(PER TABLE 1017.2)

TRAVEL DISTANCE TO EXIT BY CODE:

- WITHOUT SPRINKLER SYSTEM: 200
- PROPOSED TRAVEL DISTANCE: 83'-0"
- DEAD END CORRIDOR - MAX. 64'-8"

NUMBER OF EXITS:
(PER SEC. 1005)

MINIMUM NUMBER OF EXITS BY CODE: 2 EXITS (OCCUPANT LOAD UNDER 500)

PROPOSED: 2 EXITS

EXIT CAPACITY:
(PER TABLE 1006.3.2)

MINIMUM NUMBER OF EXITS OR ACCESS TO EXIT PER STORY REQUIRED BY CODE

OCCUPANT LOAD PER STORY

MINIMUM NUMBER OF EXITS OF ACCESS TO EXITS FROM STORY

1-500

501-1,000

MORE THAN 1,000

2

3

4

STORIES PROVIDED: 1

FIRE-FLOW REQUIREMENTS FOR BUILDINGS:

FFPC 1.18.4.5.2.1

BUILDING AREA: 1,518 S.F.

FIRE FLOW (GALLONS PER MINUTE)

CONSTRUCTION TYPE: VB

1,500

2

PROJECT LOCATION MAP:

DRAWING INDEX:

ARCHITECTURAL

A0.0 PROJECT INFORMATION

A0.1 SITE PLAN

A0.2 LIFE SAFETY PLAN

A1.0 EXISTING/ DEMO FLOOR PLAN

A2.0 PROPOSED FLOOR PLAN

A3.0 PROPOSED REFLECTED CEILING PLAN

A4.0 ELEVATION

A5.0 SCHEDULE

A6.0 SECTION/ DETAIL

A7.0 DETAILS

M1 MECHANICAL SPECIFICATIONS

M2 MECHANICAL HVAC FLOOR PLAN

E1 ELECTRICAL SPECIFICATIONS

E2 ELECTRICAL POWER FLOOR PLAN/ ELECTRICAL LIGHTING FLOOR PLAN

E3 LUMINAIRE SCHEDULE

STANDARD SYMBOLS:

SECTION NUMBER

SHEET NUMBER

DETAIL NUMBER

SHEET NUMBER

WALL TYPE

DOOR TAG

WINDOW TAG

REVISION CLOUD

REVISION NUMBER

ELEVATION

ELEVATION NAME

NORTH ARROW

EXTERIOR ELEVATION NUMBER

SHEET NUMBER

INTERIOR ELEVATION NUMBER

SHEET NUMBER

TITLE

SCALE:

MATERIAL LEGEND:

BRCK

STEEL

RGD INSULATION

SMTH/COMPACT FILL

UNDISTURBED EARTH

GRAVEL FILL

STRUCTURAL CONCRETE

CERAMIC TILE

ALUMINUM

PLYWOOD

SHINGLES

XING

GYF. RD.

LUMBER

BLOCKING

FRESH WOOD

GLASS

CMU

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FLORIDA SEAL

REG# AR 16971

ISSUANCE

2/20/2026

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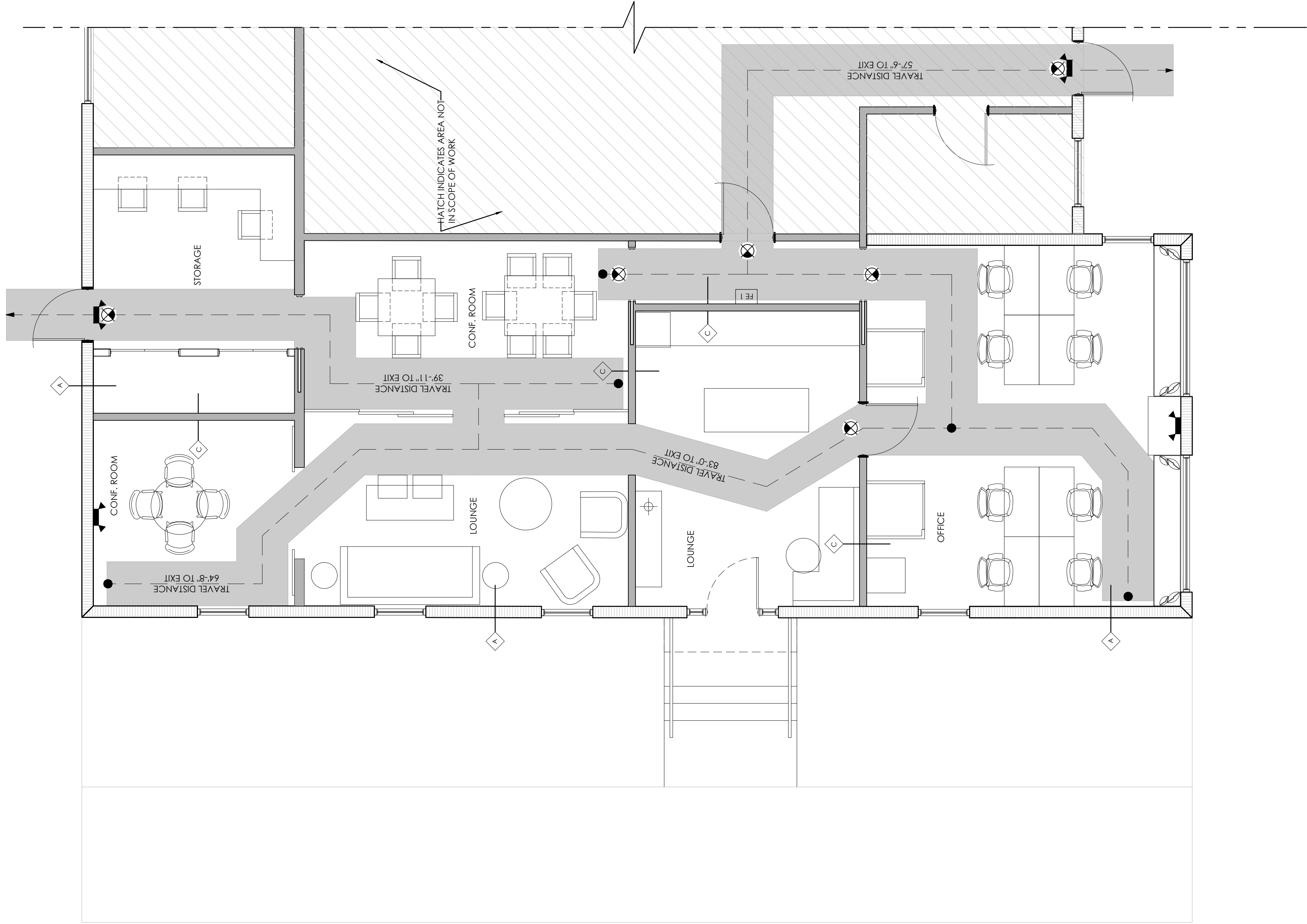
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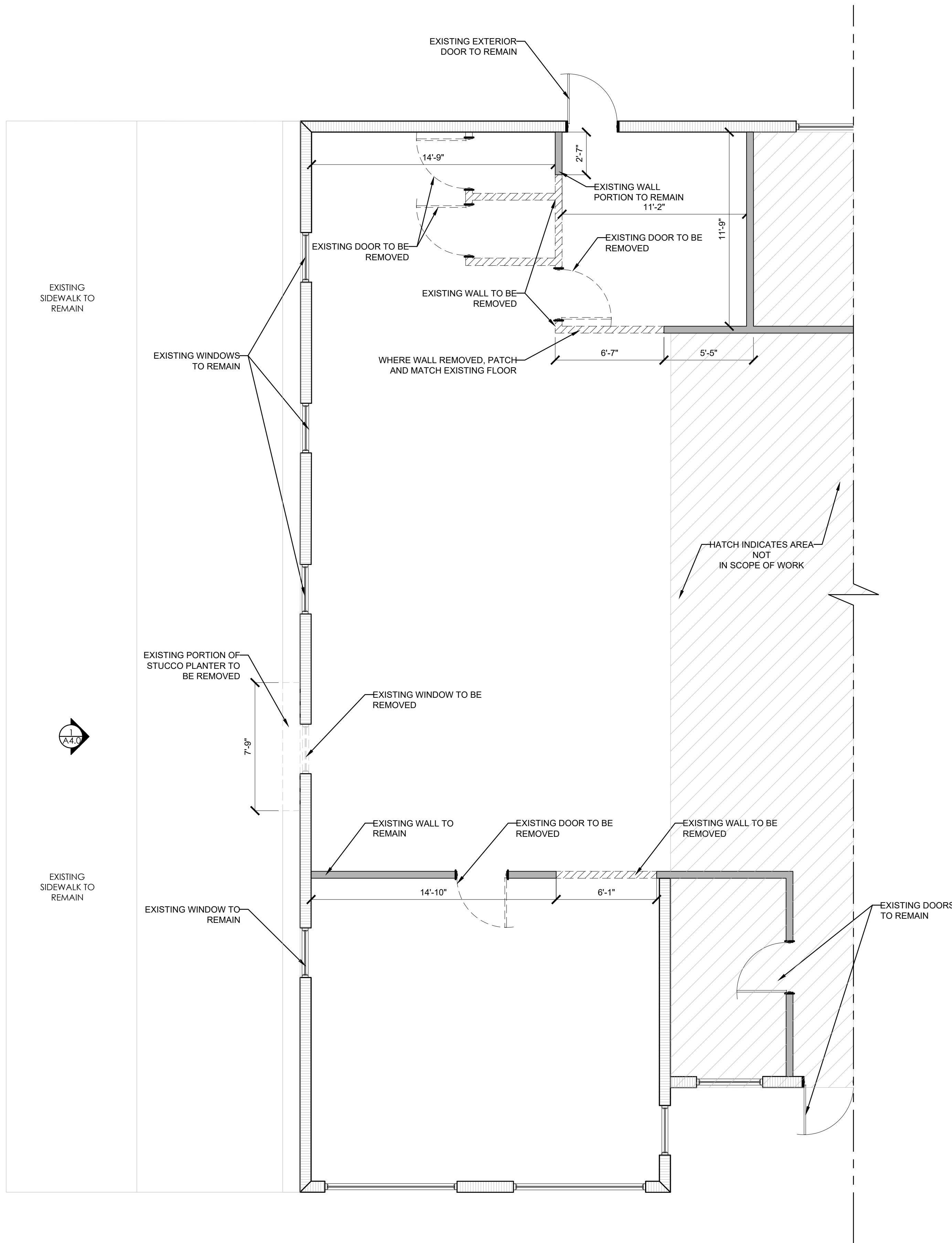
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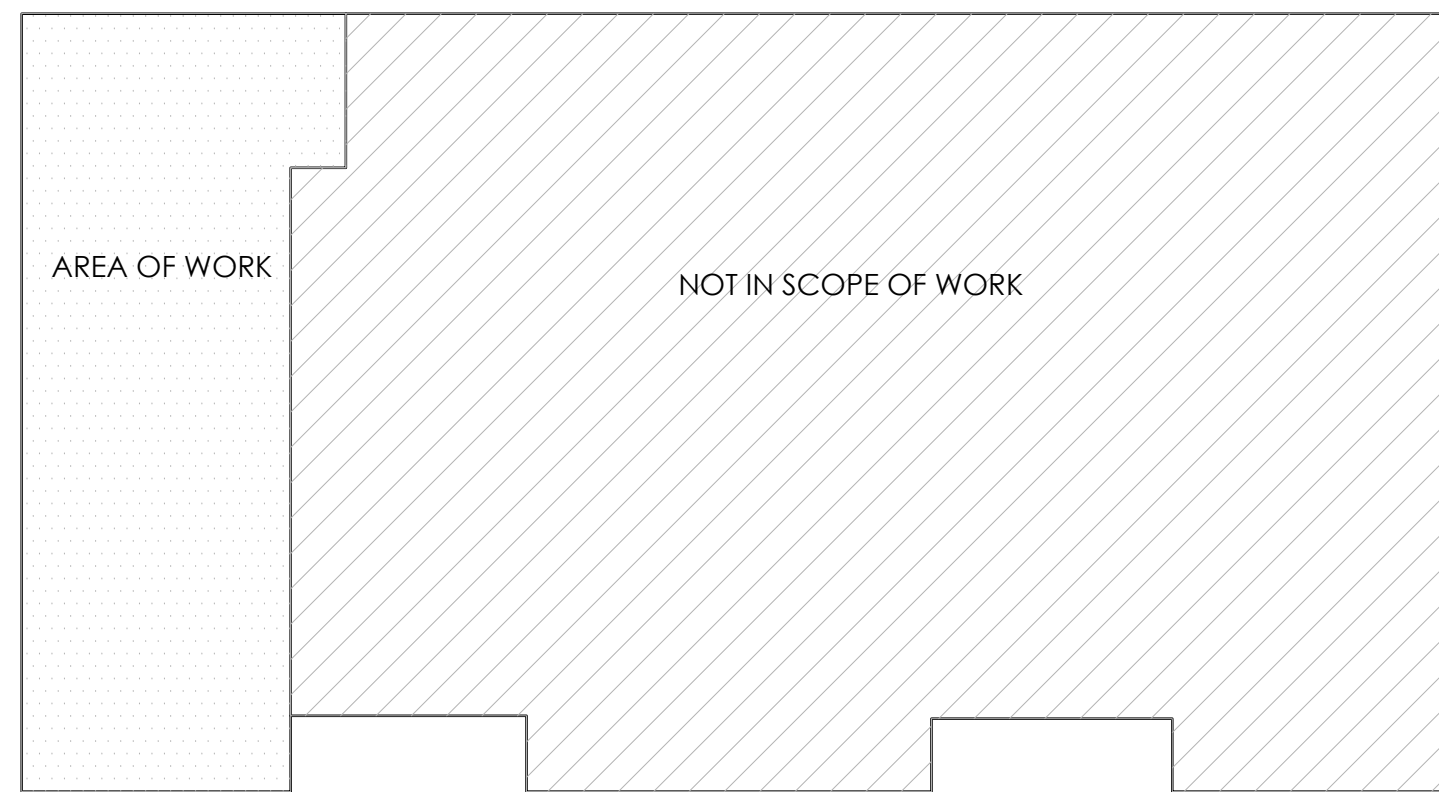
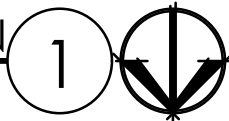


LIFE SAFETY	IN ORDER OF DEMOLITION	NOTE:
---	CONSTRUCTION	IN ORDER OF DEMOLITION
●	OF NFPA	OF NFPA
⊗	CODE, C	CODE, C
→	SAFETY N	SAFETY N
FE	FIRE PRO	FIRE PRO
	DURATION	DURATION

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EXISTING/ DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEY PLAN
SCALE: 1/16" = 1'-0"



GENERAL NOTES:

- ALL ITEMS SHOWN WITH DASHED LINES, DASHED HATCHES, OR OTHER DASHED LINEWORK TO BE DEMOLISHED.
- ADDITIONAL DEMOLITION NOT SHOWN ON THESE PLANS MAY BE NECESSARY IN PREPARATION FOR NEW FINISHES. SEE PROPOSED FINISH PLAN AND ELEVATIONS FOR FINISH INFORMATION.
- ADDITIONAL DEMOLITION NOT SHOWN ON THESE PLANS MAY BE NECESSARY TO RUN NEW MECHANICAL/ ELECTRICAL/ PLUMBING PER PROPOSED PLAN.
- ADDITIONAL DEMOLITION ANTICIPATED BUT NOT SHOWN ON THESE PLANS IS TO BE COMMUNICATED TO OWNER AND ARCHITECT AND INCLUDED IN CONTRACT PRICING.
- GC/ DEMOLITION SUBCONTRACTOR TO NOTIFY OWNER AND ARCHITECT OF ANY ADDITIONAL DEMOLITION NOT SHOWN IN THESE DRAWINGS.
- ALL DEBRIS REMOVAL AND OFF SITE DISPOSAL TO BE INCLUDED IN DEMOLITION AND OVERALL GC CONTRACT PRICING.
- EXCLUSIONS FOR ANY DEMOLITION ITEMS MUST BE APPROVED BY OWNER AND ARCHITECT.
- GC TO NOTIFY OWNER AND ARCHITECT OF ANY DISCREPANCIES FROM THESE DRAWINGS PRIOR TO DEMOLITION OR DEMOLITION EXEMPTION.
- PUBLIC ACCESS TO THE WORK SITE TO BE STRICTLY PROHIBITED.
- WORK ACCESS SHALL BE CLEARLY MARKED TO PREVENT CUSTOMER HAZARD AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES.
- GC TO ABIDE BY ALL OSHA GUIDELINES DURING THE DEMOLITION PROCESS. A FOREMAN SHALL BE ONSITE ALL TIMES WHEN WORK IS TAKING PLACE.
- GC TO PROTECT ALL GLAZING FROM DAMAGE DURING ALL PHASE OF DEMOLITION, STAGING AND CONSTRUCTION. GC TO PROVIDE PROTECTION FOR ALL PARTS OF THE BUILDING AND ADJOINING BUILDING, THEIR CONTENTS, AND OCCUPANTS WHEREVER WORK UNDER THIS CONTRACT IS PERFORMED. ANY DAMAGE DURING WORK IS TO BE REPAIRED BY THE CONTRACTOR TO MATCH EXISTING OR THE NEW WORK BEING DONE.
- ANY NECESSARY CUTTING AND PATCHING OF SLABS, WALLS, ROOFING, ETC. IS TO BE PERFORMED BY THE APPROPRIATE SUBCONTRACTOR. SUPERVISION IS TO BE PROVIDED BY THE GENERAL CONTRACTOR.
- REMOVE EXISTING ELECTRICAL FIXTURES AND WIRING SYSTEMS ASSOCIATED WITH DEMOLITION. FIELD VERIFY ALL CIRCUITS ARE PROPERLY CAPPED AND TERMINATED.

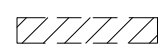
LEGEND:



EXISTING CMU WALL TO REMAIN



EXISTING FRAME WALL TO REMAIN



EXISTING FRAME WALL TO BE REMOVED

MHK
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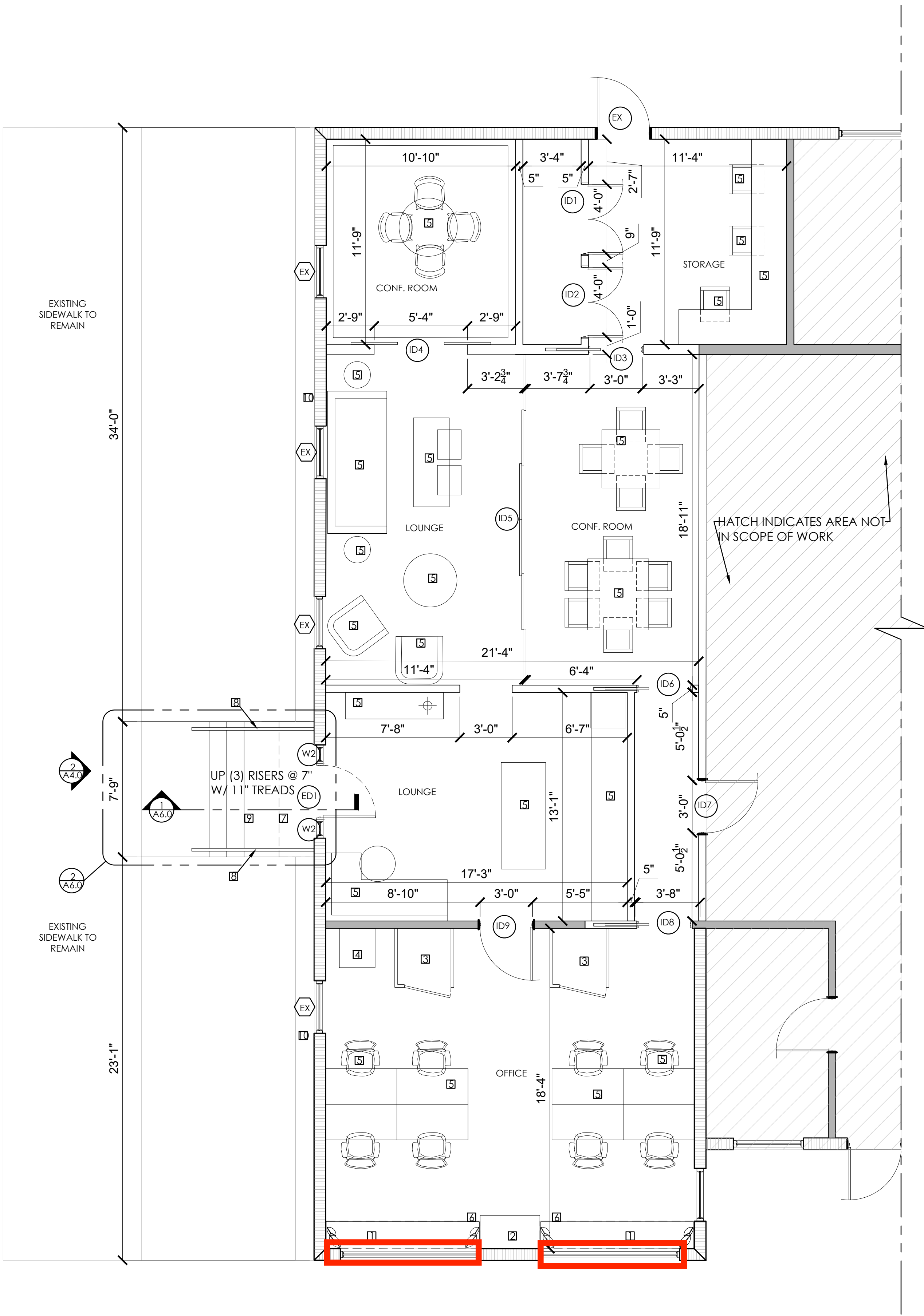
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EXISTING/
DEMO FLOOR
PLAN

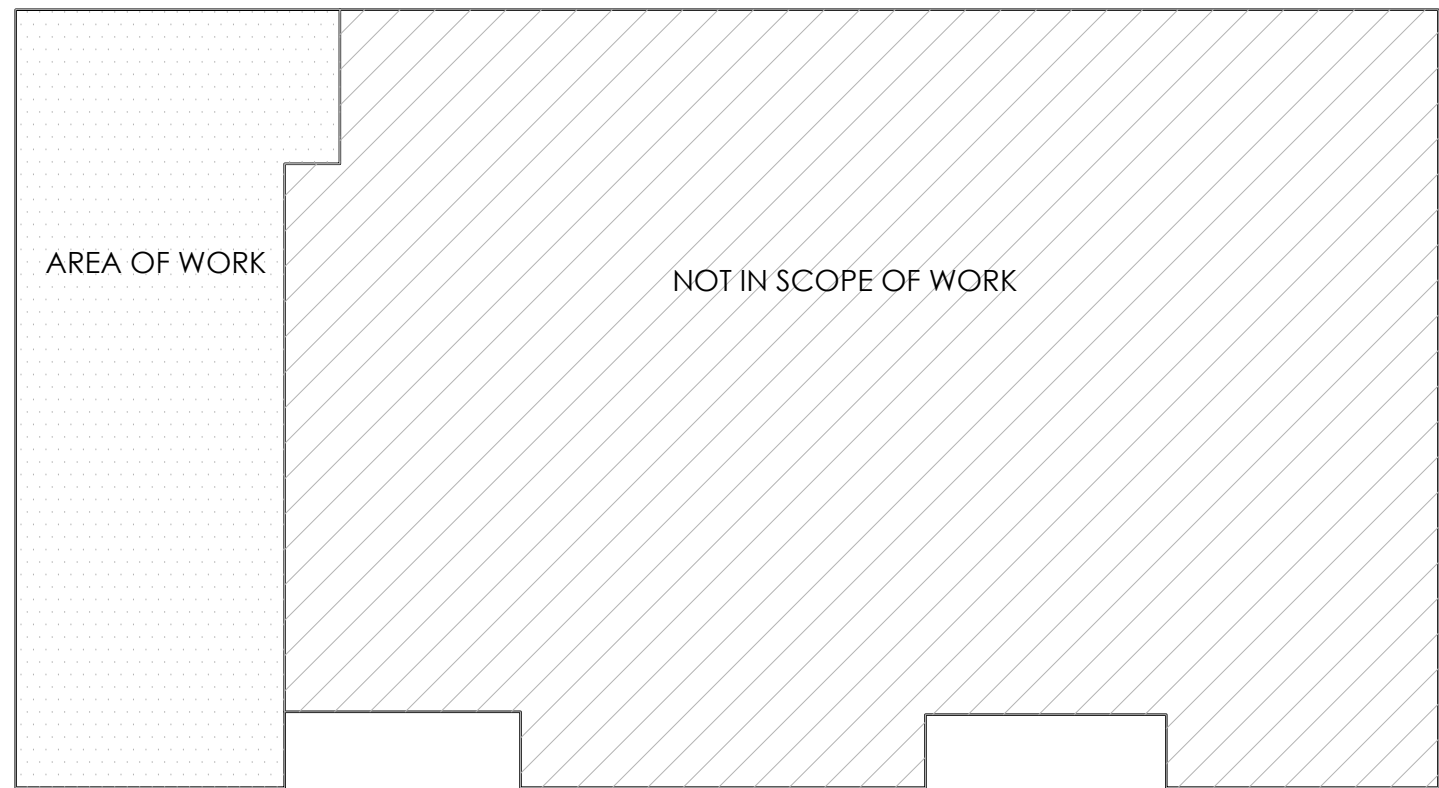
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PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



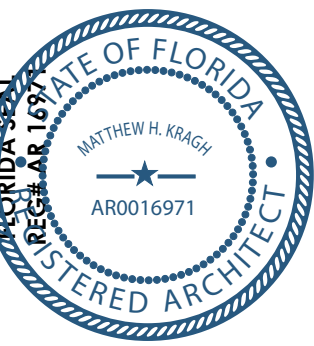
KEY PLAN
SCALE: 1/16" = 1'-0"

- A. DIMENSIONS ARE FROM EXTERIOR FRAMING TO INTERIOR FRAMING AND FROM CENTERLINE UNLESS NOTED OTHERWISE.
- B. ALIGN FINISH FACE OF NEW WALLS WITH EXISTING WALLS.
- C. FIN= FINISHED FACE, FROM FACE OF GYPSUM TO FACE OF GYPSUM.
- D. AFF= ABOVE FINISHED FLOOR.
- E. SUBCONTRACTOR REQUIRED TO VISIT SITE AND TAKE INDEPENDENT INVENTORY OF DEMOLITION, PROPOSED, AND MODIFIED ITEMS, PLAN COUNTS, DIMENSIONS, ETC ARE NOT ALLOWED TO BE THE ONLY METHOD OF ESTIMATING.
- F. INSTALL SOUND BATT INSULATION FULL HEIGHT OF PARTITION AT ALL NEW WALLS W/2'-0" HIGH DURAROCK.
- G. PROVIDE DURAROCK IN ALL WET LOCATION.
- H. PROVIDE BLOCKING AND BACKING AS DEFINED BY SPECIFICATIONS IN WALLS AND NEW PARTITIONS FOR ALL CASEWORK, SHELVING, COUNTERTOPS, TOILET ACCESSORIES, AND OWNER SUPPLIED EQUIPMENT. COORDINATE WITH SHOP DRAWINGS.
- I. EXIT SIGNAGE & EMERGENCY LIGHTING, WILL BE EVALUATED FOR LOCATION & REQUIRED LIGHTING INTENSITY AT FINAL INSPECTION BY AUTHORITY HAVING JURISDICTION.
- J. G.C. SHALL FOLLOW ALL MANUFACTURERS' GUIDELINES FOR INSTALLATION & CLEARANCE REQUIREMENTS FOR ALL EQUIPMENT INSTALLED IN SPACE.
- K. G.C. & OWNER SHALL PROVIDE A CURRENT & UPDATED MSDS PRIOR TO FINAL INSPECTION TO THE FIRE MARSHALL'S OFFICE OR TO ANY OTHER OFFICE HAVING JURISDICTION.

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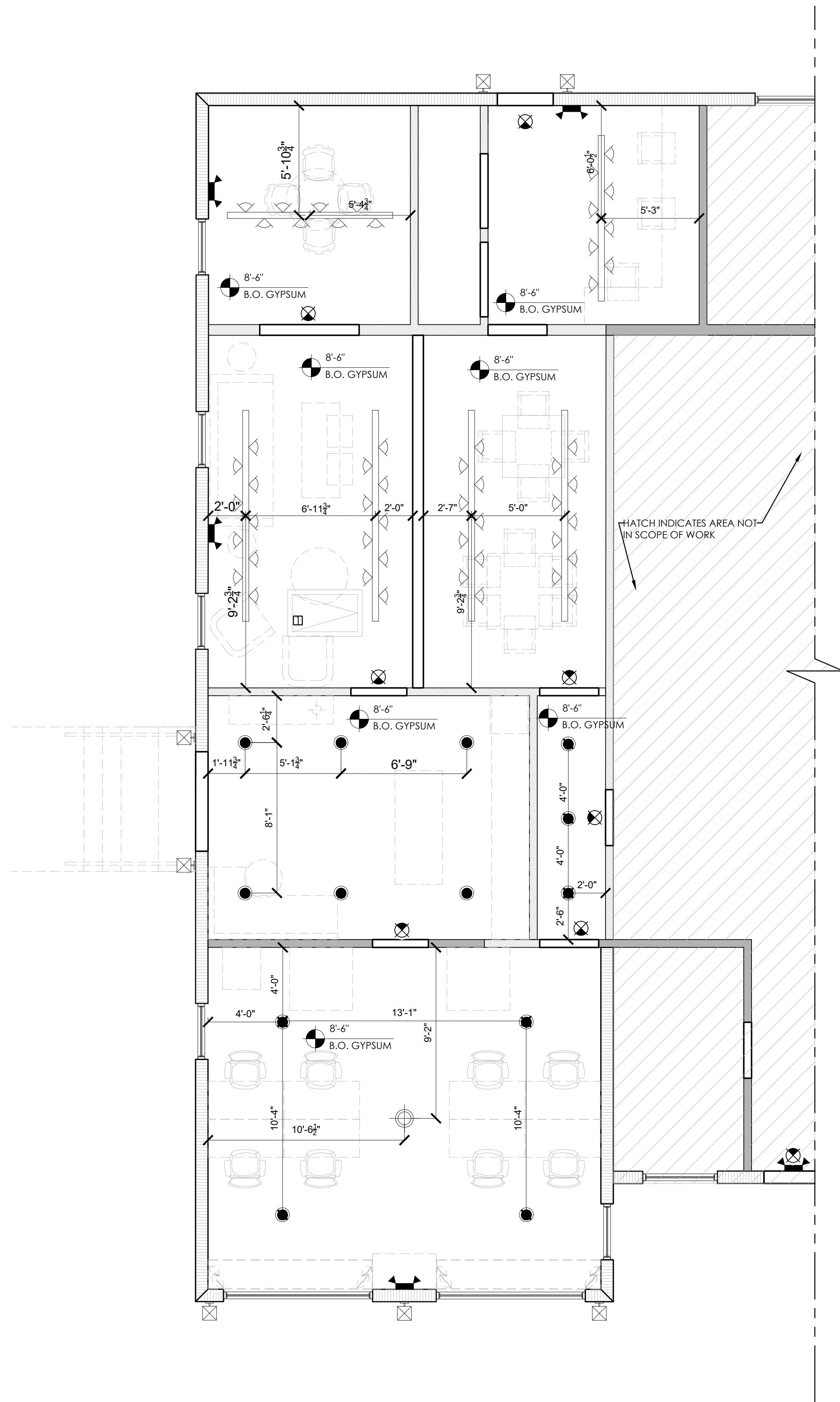
**DAWN MCKENNA GROUP
550 5TH AVE S
NAPLES, FL**

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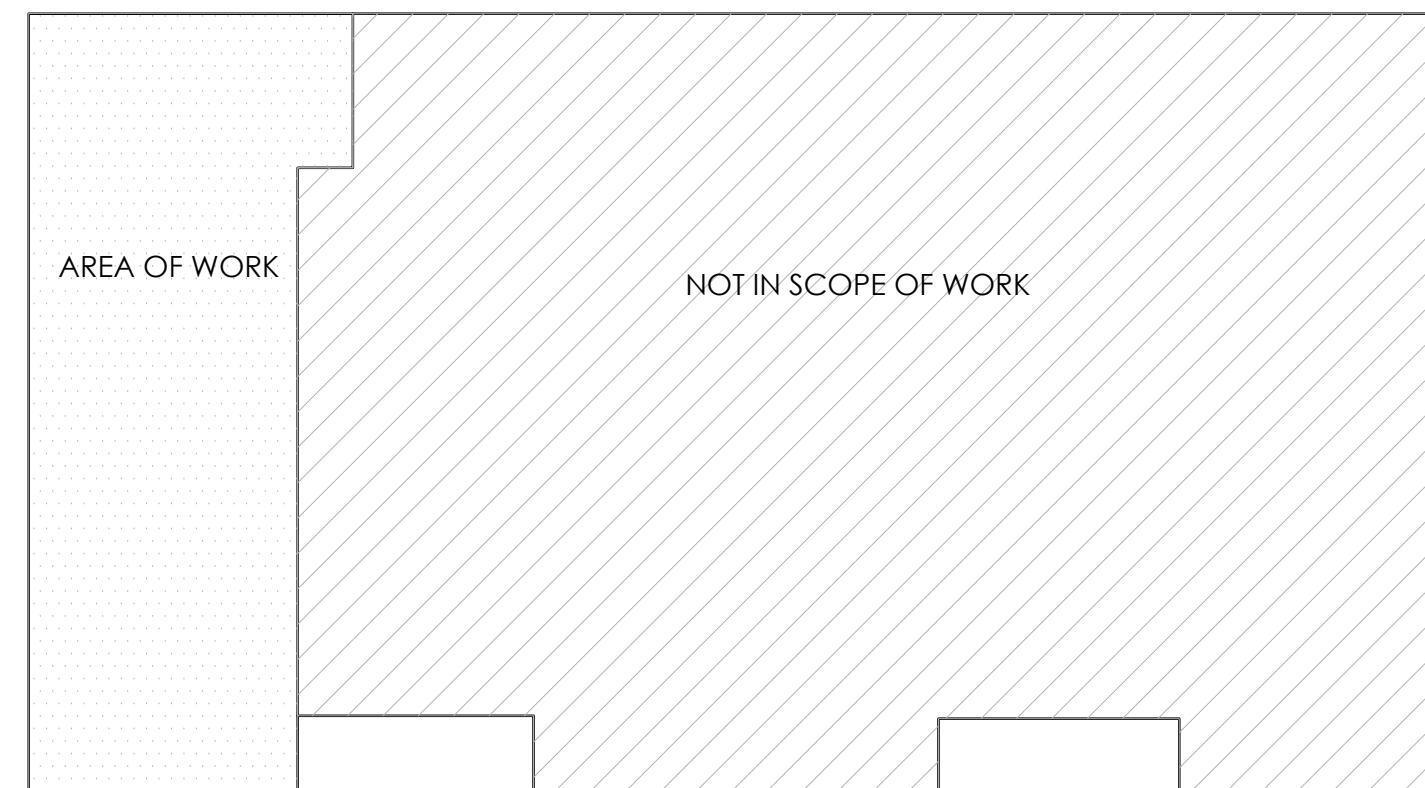
PROPOSED FLOOR PLAN

PHASE	CD
PR NO	25258

A2.0



PROPOSED REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



KEY PLAN
SCALE: 1/16" = 1'-0"

RCP GENERAL NOTES:

1. REFERENCE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR MORE INFORMATION.
2. ELECTRICAL FIXTURES SHOWN FOR LOCATION AND GENERAL REFERENCE ONLY. ALL MEP ITEMS TO BE BUILD-OUT ACCORDING TO MEP DRAWINGS. GC TO REQUEST FIXTURE SPECIFIC LOCATION DIMENSIONS AS NECESSARY.

LEGEND:

- 
 EXISTING CMU WALL TO REMAIN
 EXISTING FRAME WALL
 NEW FRAME WALL
 INDICATES AREA NOT IN THE SCOPE OF WORK
 DOOR HEADER

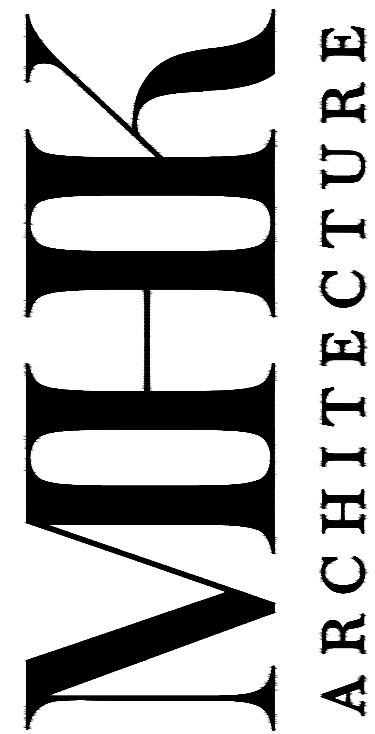
RCP LIGHTING LEGEND

- LED RECESSED CAN
- ADJUSTABLE LED TRACK LIGHTING
- PENDANT LIGHT
- EXTERIOR SCENE, TO MATCH EXISTING
- EMERGENCY LIGHTING/ SEE ELECTRICAL
- EXIT SIGN

NOTE:
SEE MEP DWGS FOR MANUFACTURER AND MODEL OF
LIGHT FIXTURES

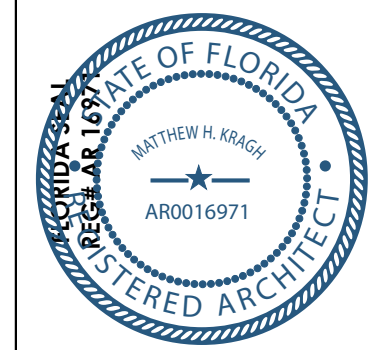
KEY PLAN NOTE:

1. 48"X30" ACCESS PANEL TO AIR HANDLER



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NAPLES, FL**

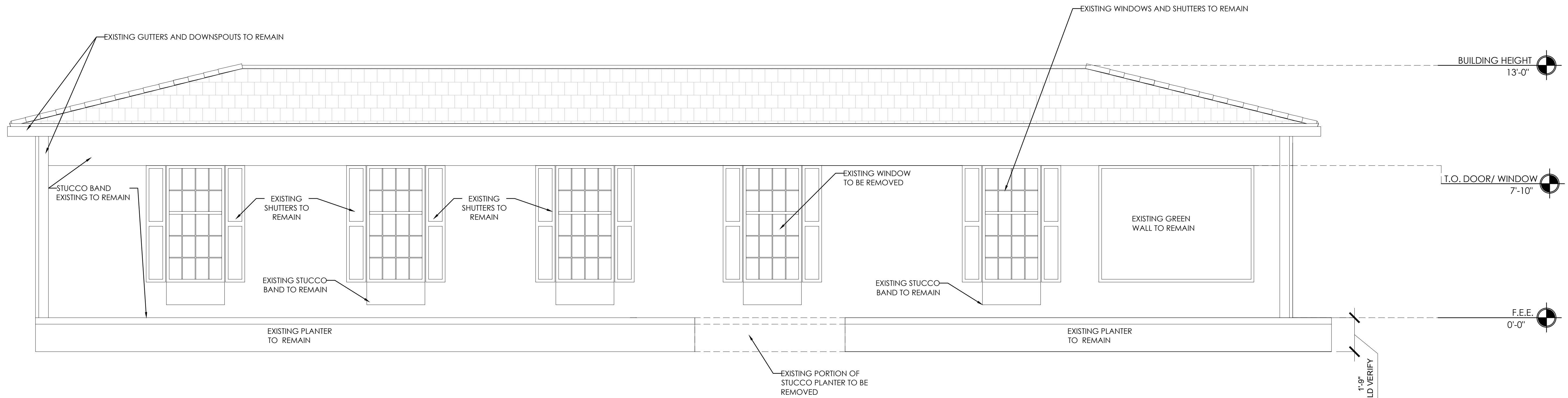
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PROPOSED
RCP

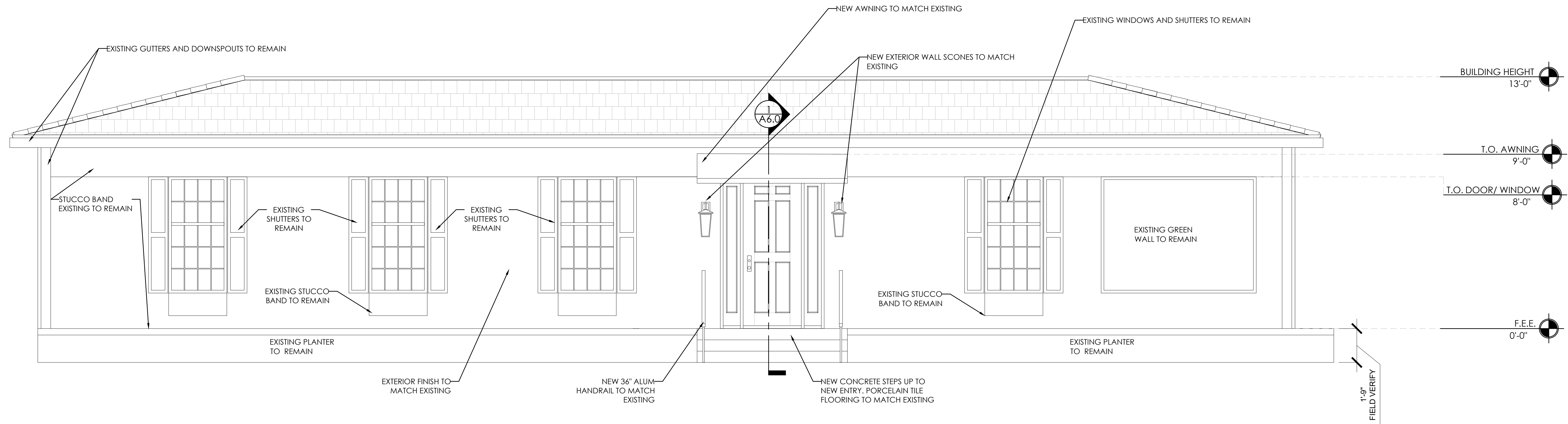
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PR NO	25258

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EXISTING/ DEMO EAST ELEVATION 1
SCALE: 3/8" = 1'-0"

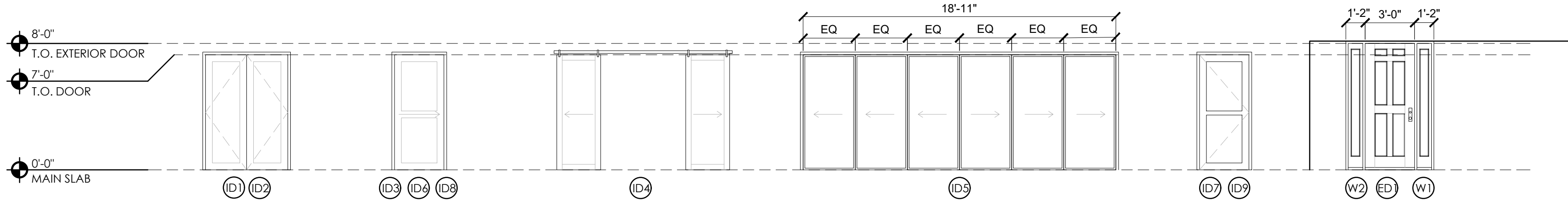


PROPOSED EAST ELEVATION 2
SCALE: 3/8" = 1'-0"

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INTERIOR DOOR & FRAME SCHEDULE								
#	DOOR				FRAME			HARDWARE
	SIZE			TYPE	D	MTL	FINISH	
	W	D	H					
ED1	3'-0"	1 ³ / ₄ '	8'-0"	SWING	4 ¹ / ₄ "	WOOD	BY OWNER	3
ID1	4'-0"	1 ³ / ₄ '	7'-0"	DOUBLE SWING	4 ¹ / ₄ "	WOOD	BY OWNER	1
ID2	4'-0"	1 ³ / ₄ '	7'-0"	DOUBLE SWING	4 ¹ / ₄ "	WOOD	BY OWNER	1
ID3	3'-0"	1 ³ / ₄ '	7'-0"	POCKET DOOR	4 ¹ / ₄ "	WOOD	BY OWNER	1
ID4	5'-4"	1 ³ / ₄ '	7'-0"	BARN DOOR	4 ¹ / ₄ "	H.M	BY OWNER	2
ID5	FULL OPENING LENGTH	1 ³ / ₄ '	7'-0"	SLIDING GLASS DOOR	4 ¹ / ₄ "	H.M	BY OWNER	2
ID6	3'-0"	1 ³ / ₄ '	7'-0"	POCKET DOOR	4 ¹ / ₄ "	WOOD	BY OWNER	1
ID7	3'-0"	1 ³ / ₄ '	7'-0"	SWING	4 ¹ / ₄ "	WOOD	BY OWNER	1
ID8	3'-0"	1 ³ / ₄ '	7'-0"	POCKET DOOR	4 ¹ / ₄ "	WOOD	BY OWNER	1
ID9	3'-0"	1 ³ / ₄ '	7'-0"	SWING	4 ¹ / ₄ "	WOOD	BY OWNER	1

EXTERIOR WINDOW & FRAME SCHEDULE					
#	DOOR				COMMENTS
	SIZE			TYPE	
	W	D	H		
W1	1'-2 1/8"	1 3/4"	7'-10"	SIDELIGHT	IMPACT RATED
W2	1'-2 1/8"	1 3/4"	7'-10"	SIDELIGHT	IMPACT RATED



HARDWARE SET:

- HARDWARE SET 1:
- REFERENCE SCHEDULE FOR DOOR SIZE
 - (3) HEAVY DUTY HINGES
 - SURFACE MOUNTED CLOSER
 - (3) SILENCER, EA DOOR
 - DOOR BOTTOM SWEEP
 - WEATHER STRIP SEAL
 - ADA COMPLIANT ALUMINUM THRESHOLD
 - GRADE 2 PRIVACY LOCK

- HARDWARE SET 2:
- PER MANUFACTURER

- HARDWARE SET 3:
- U4 IMPACT WBDR
 - 1/0-3/0-1/0X $\frac{5}{8}$
 - SGL-2-S/L
 - LH I/S
 - SMOOTH-STAR
 - 6PNL (S210)
 - SMOOTH-STAR
 - FULL 1LT FLUSH (S601SL-ILE)
 - LOW-E
 - DBL BORE RAD PREP 2-3/8
 - 4-5/8" TRUG WHT COMP JAMB
 - WHT WS
 - COMP ADJ SILL ,ILL/LT CAP
 - BRZ SWEEP
 - BOXED UNIT
 - NO CASHING
 - 3 BALL BEARING STAINLESS STEEL HINGES
 - ACTUAL UNIT SIZE: 64-1/4IN X 81-13/16IN
 - FL CODE 20468.2

GENERAL NOTES:

- GENERAL CONTRACTOR SHALL VERIFY ALL ROUGH OPENING.
- PROVIDE A COMPLETE SET OF RUBBER SILENCER FOR ALL DOORS.
- ALL DOOR FINISHES AND TRIM SHALL BE SELECTED/ APPROVED BY THE INTERIOR DESIGNER.
- DOORS SHALL BE OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OS A KEY, TOOL OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- HARDWARE PROVIDED BY DOOR SUPPLIER SHALL MEET ALL ADA STANDARDS.
- EXISTING EMERGENCY EXIT DOOR PROVIDE PANIC-ATTACK (PANIC BAR) HARDWARE ON ALL DESIGNATED EMERGENCY EXIT DOORS, PER IBC AND NFPA 101 REQUIREMENTS.

NEW ENTRY DOOR NOTES:

- DOOR HEIGHT 96", TO MATCH EXISTING WINDOW HEIGHT. FIELD VERIFY.
- CYPRESS COLOR. HIGH-GLOSS FINISH, MARINE-GRADE.

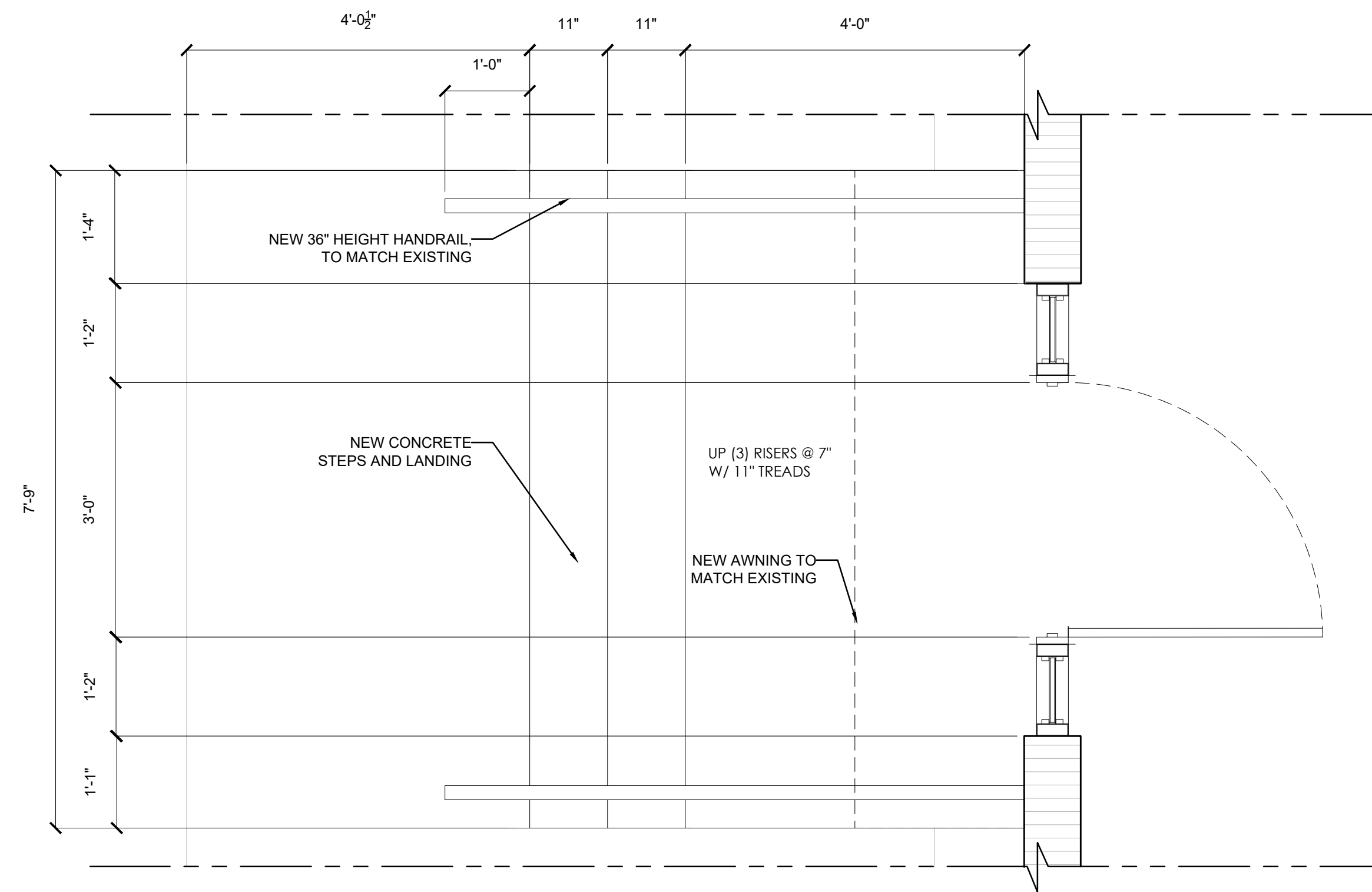


ISSUANCE	2/20/2026
	11

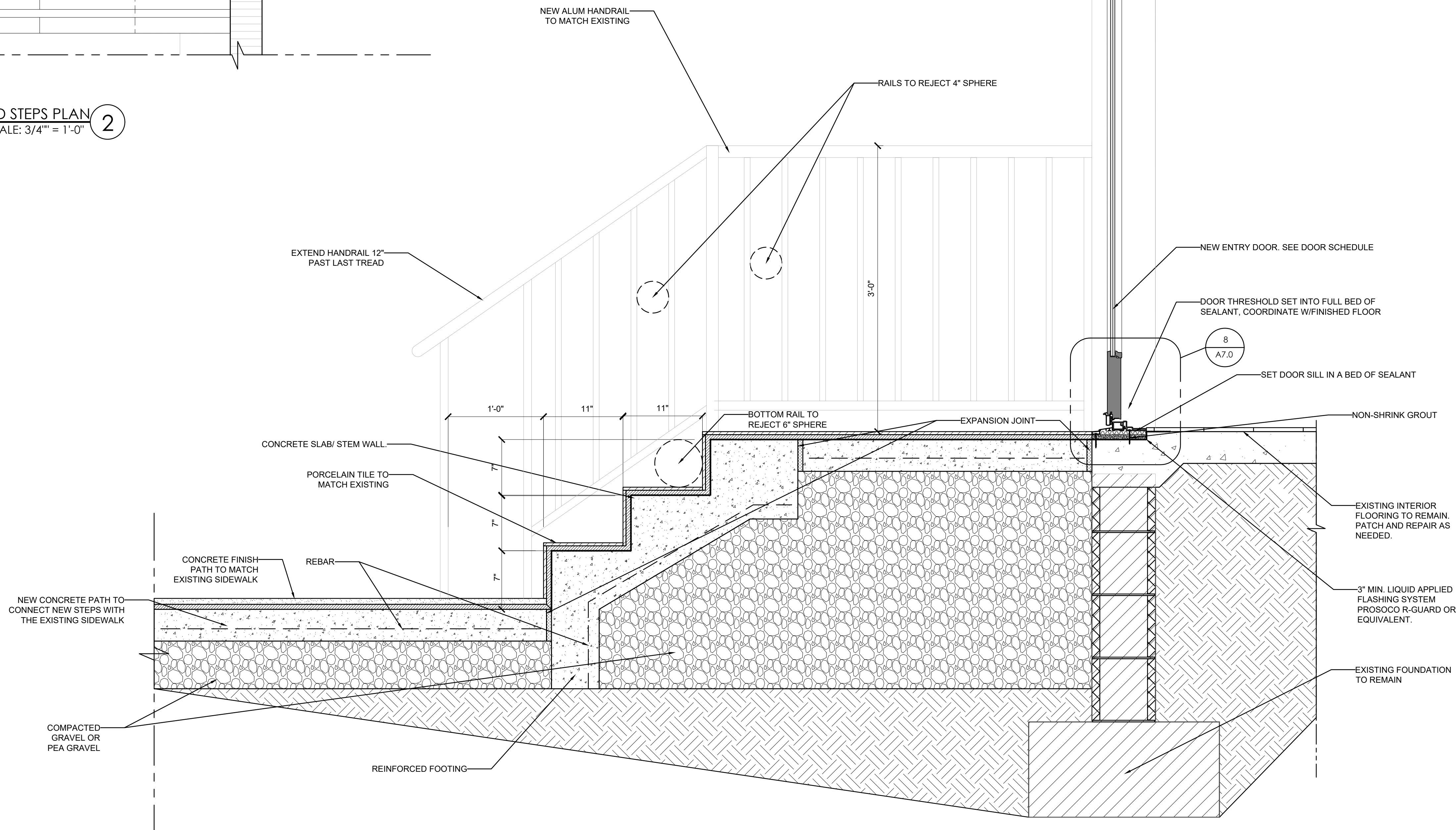
SCHEDULE

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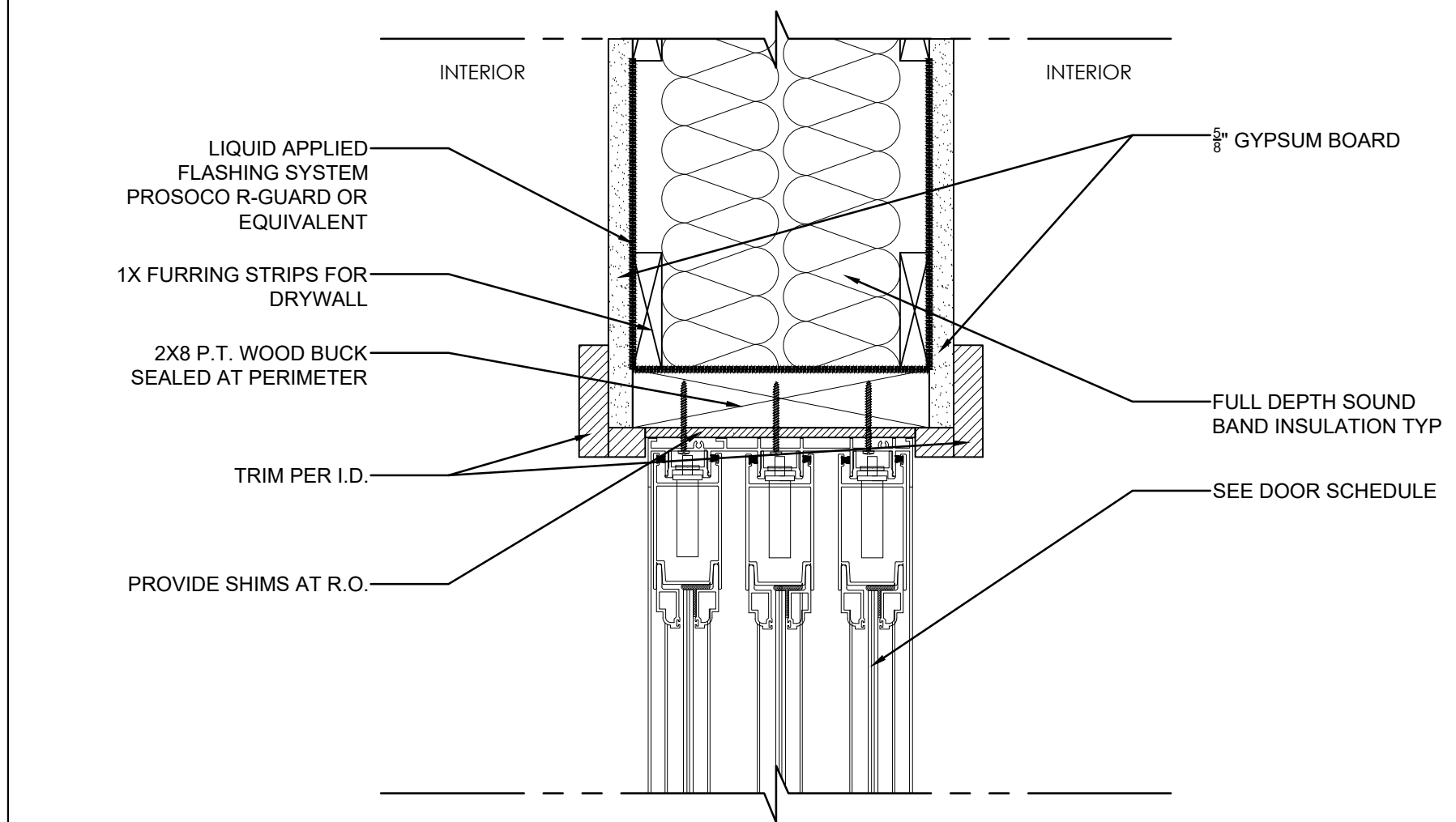


ENLARGED STEPS PLAN 2
SCALE: 3/4" = 1'-0"

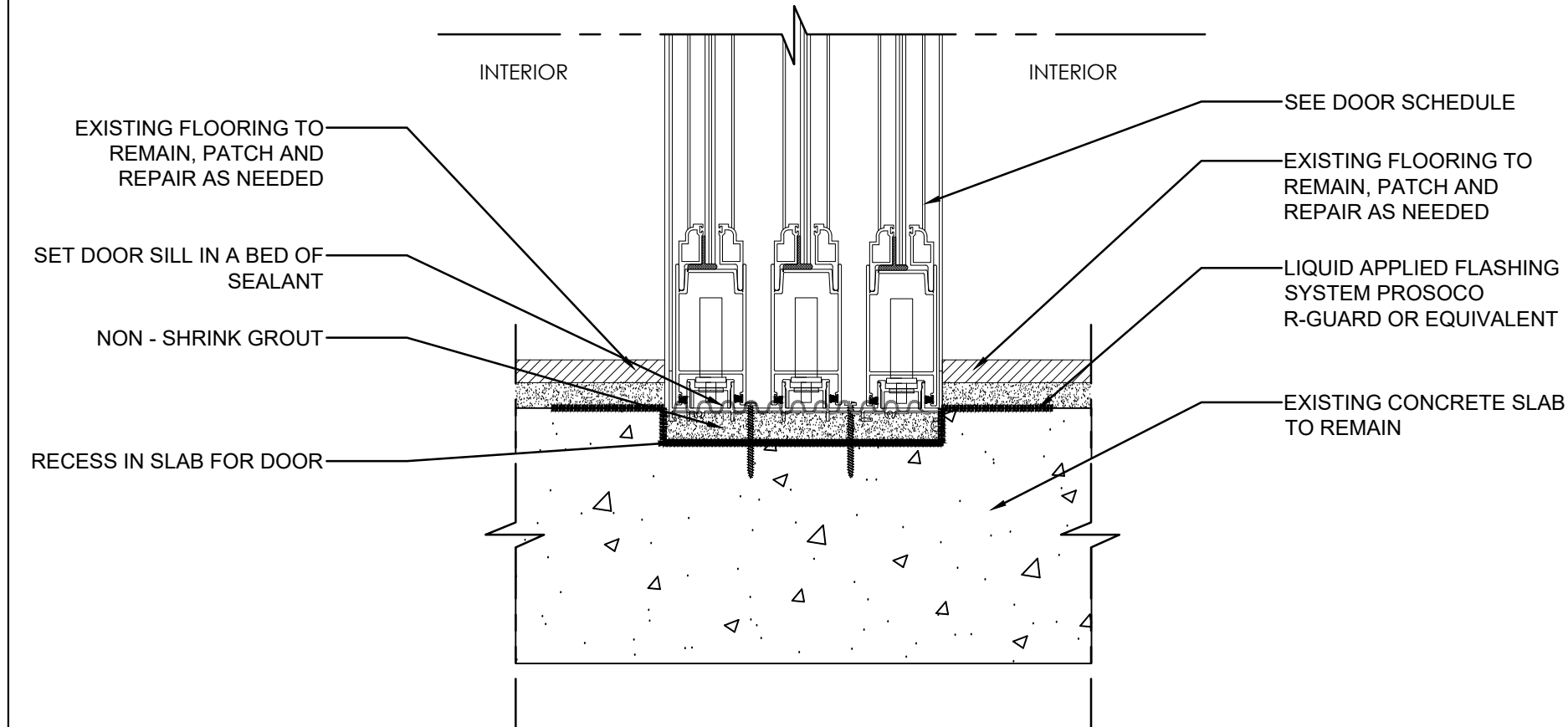


NEW ENTRY DOOR SECTION 1
SCALE: 1-1/2" = 1'-0"

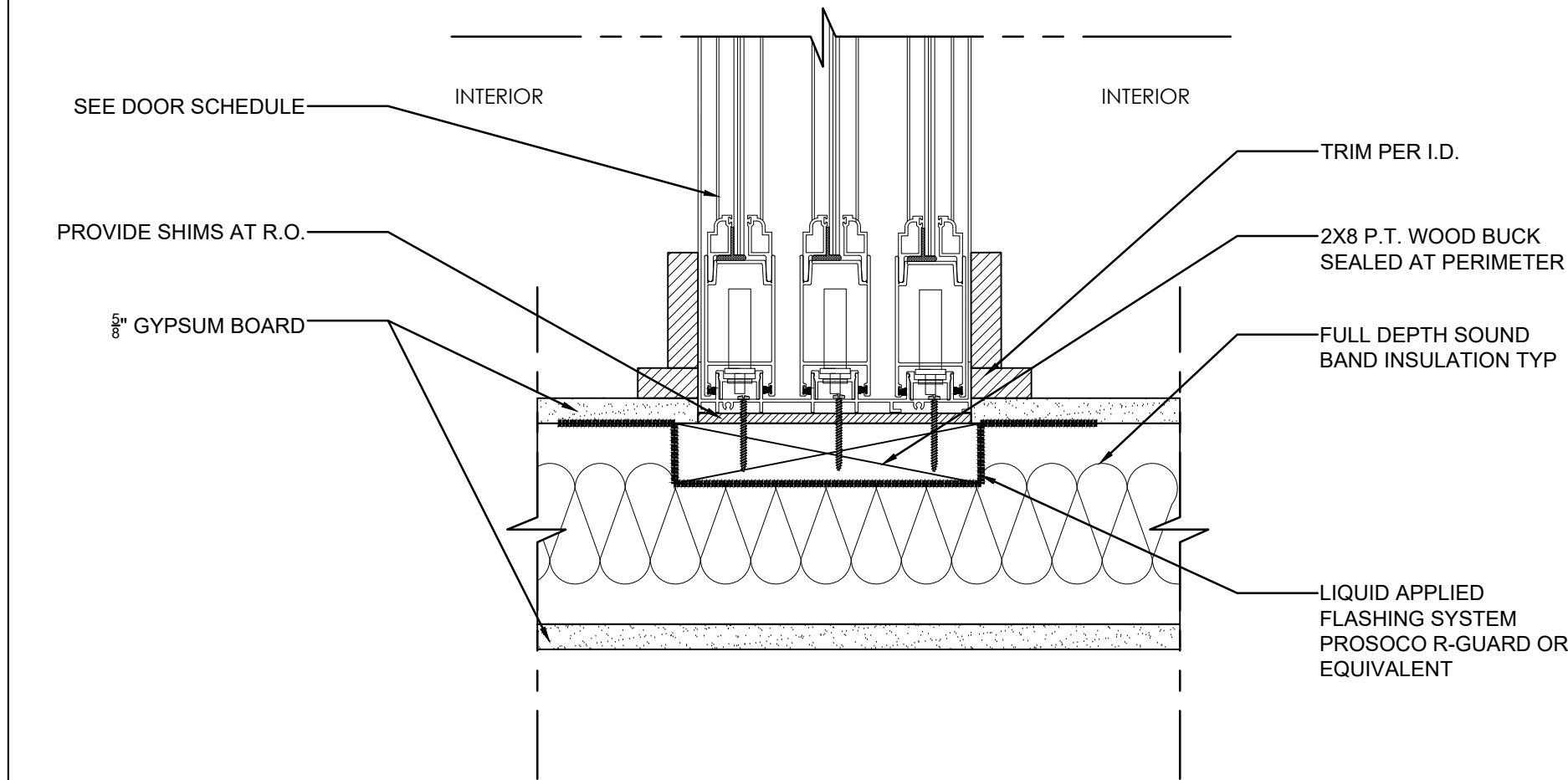
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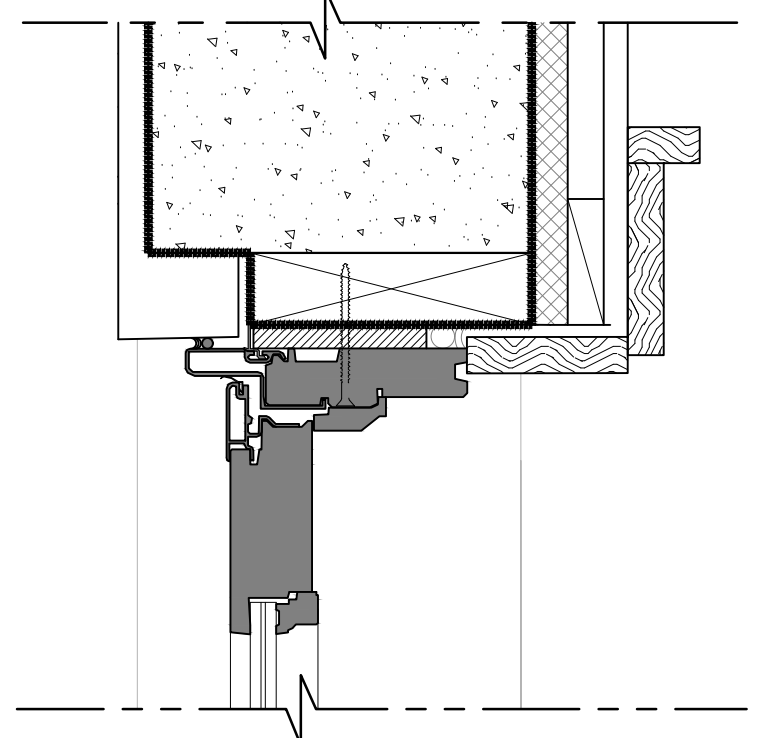
SLIDING GLASS WALL HEAD DETAIL 1
SCALE: 3" = 1'-0"



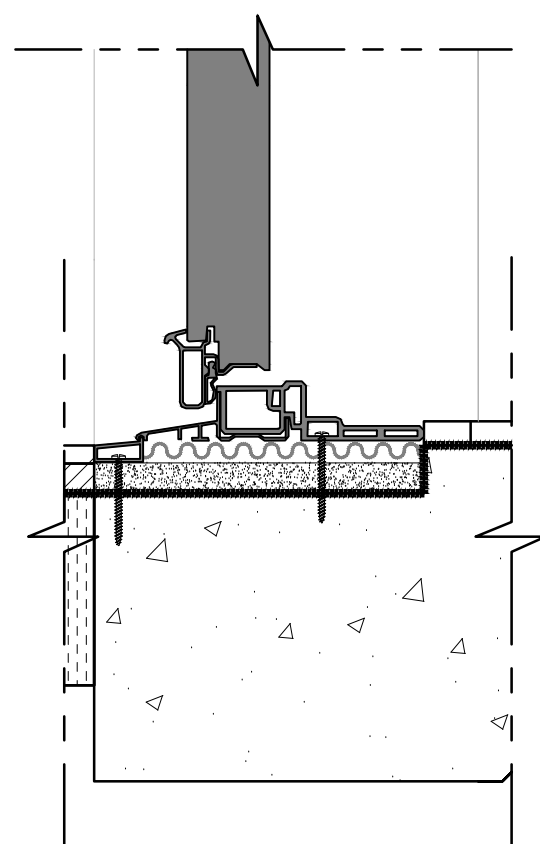
SLIDING GLASS WALL SILL DETAIL 2
SCALE: 3" = 1'-0"



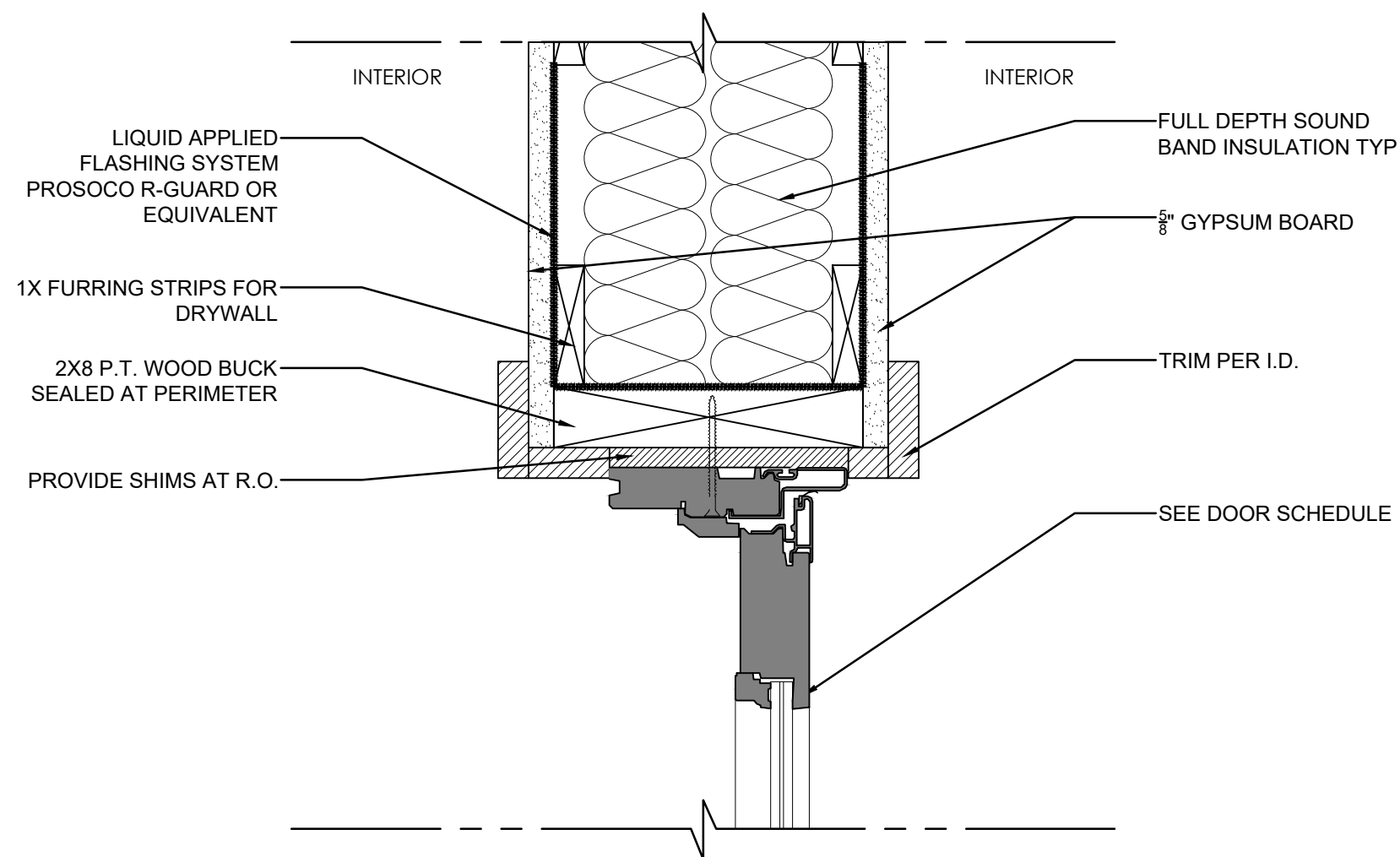
SLIDING GLASS WALL JAMB DETAIL 3
SCALE: 3" = 1'-0"



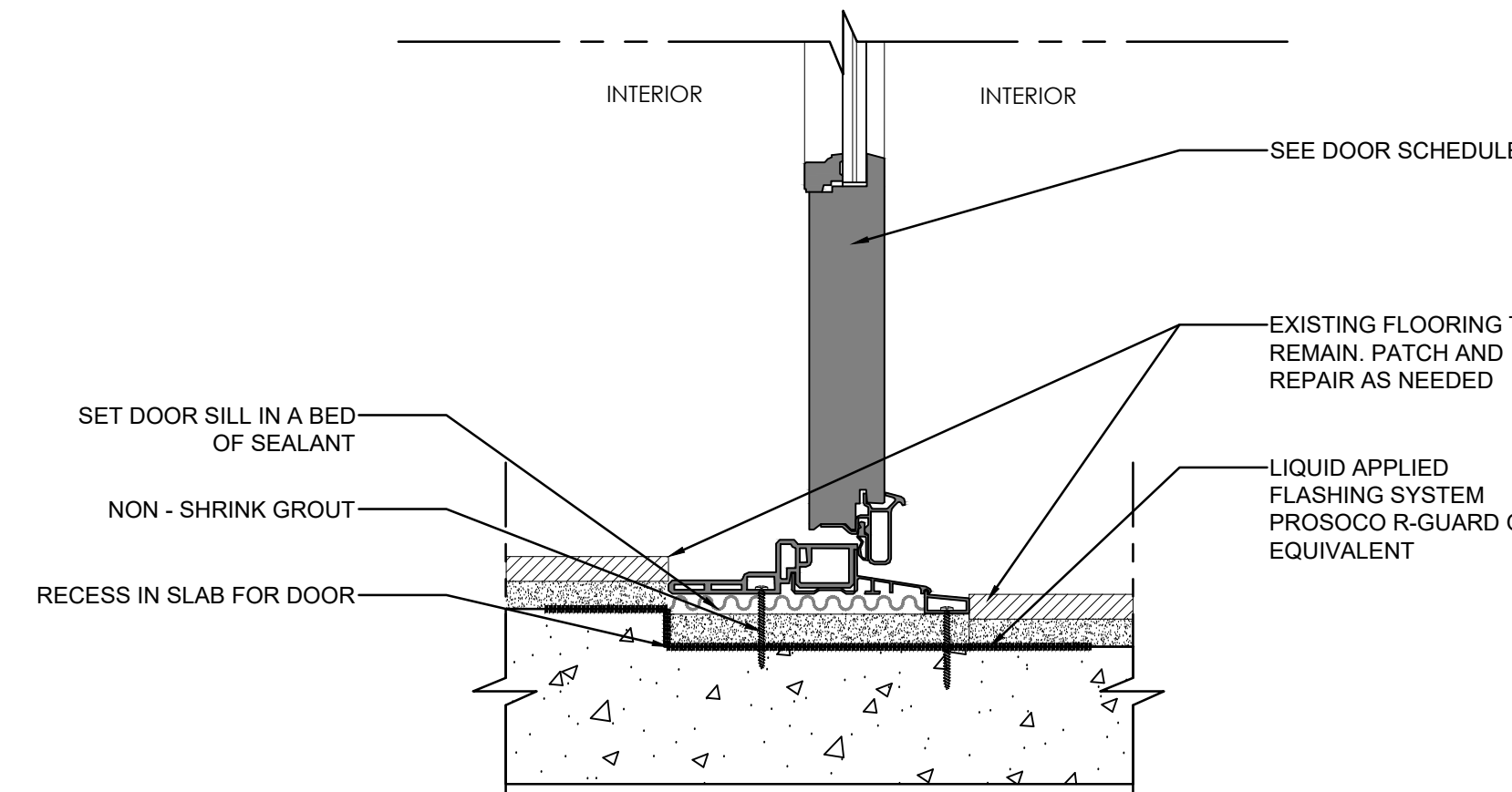
NEW ENTRY DOOR HEAD DETAIL 7
SCALE: 3" = 1'-0"



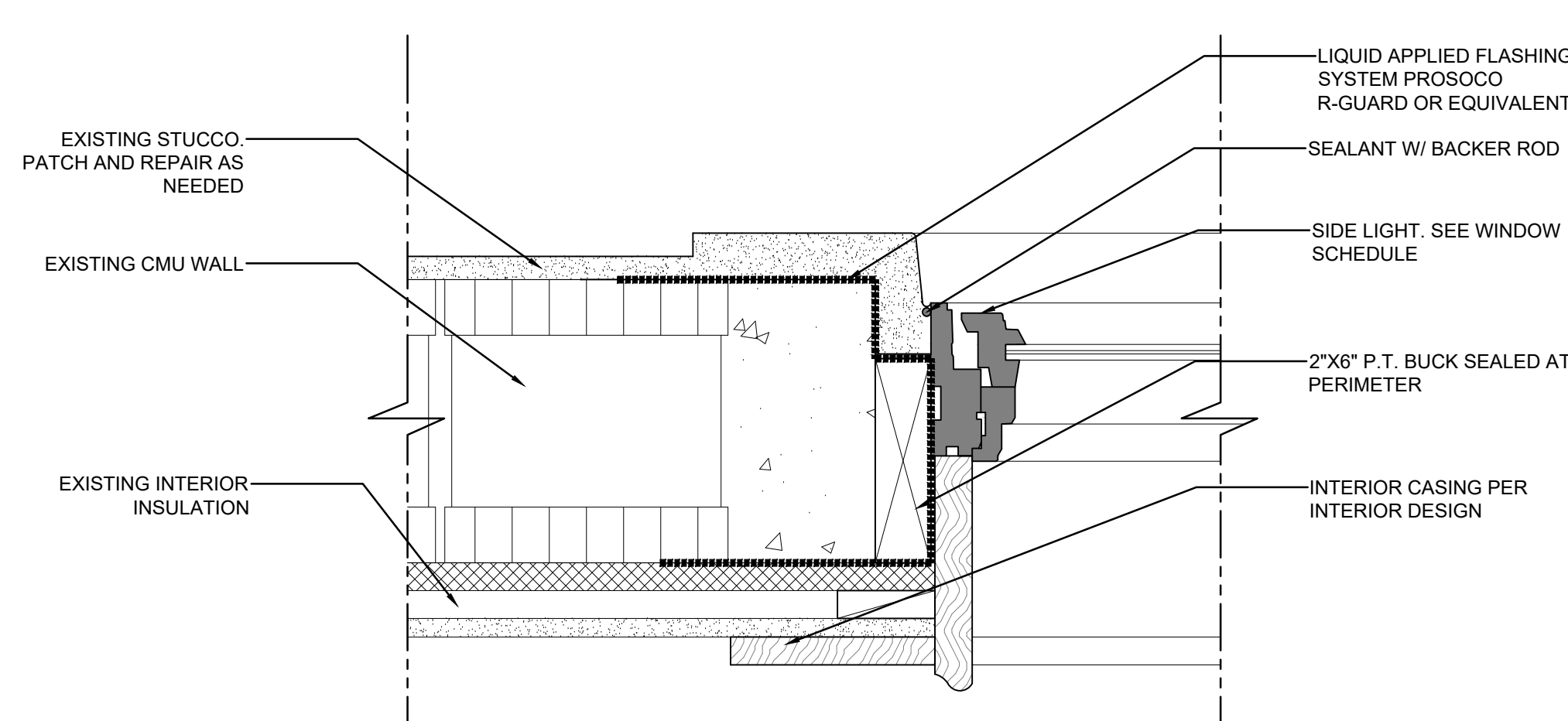
NEW ENTRY DOOR SILL DETAIL 8
SCALE: 3" = 1'-0"



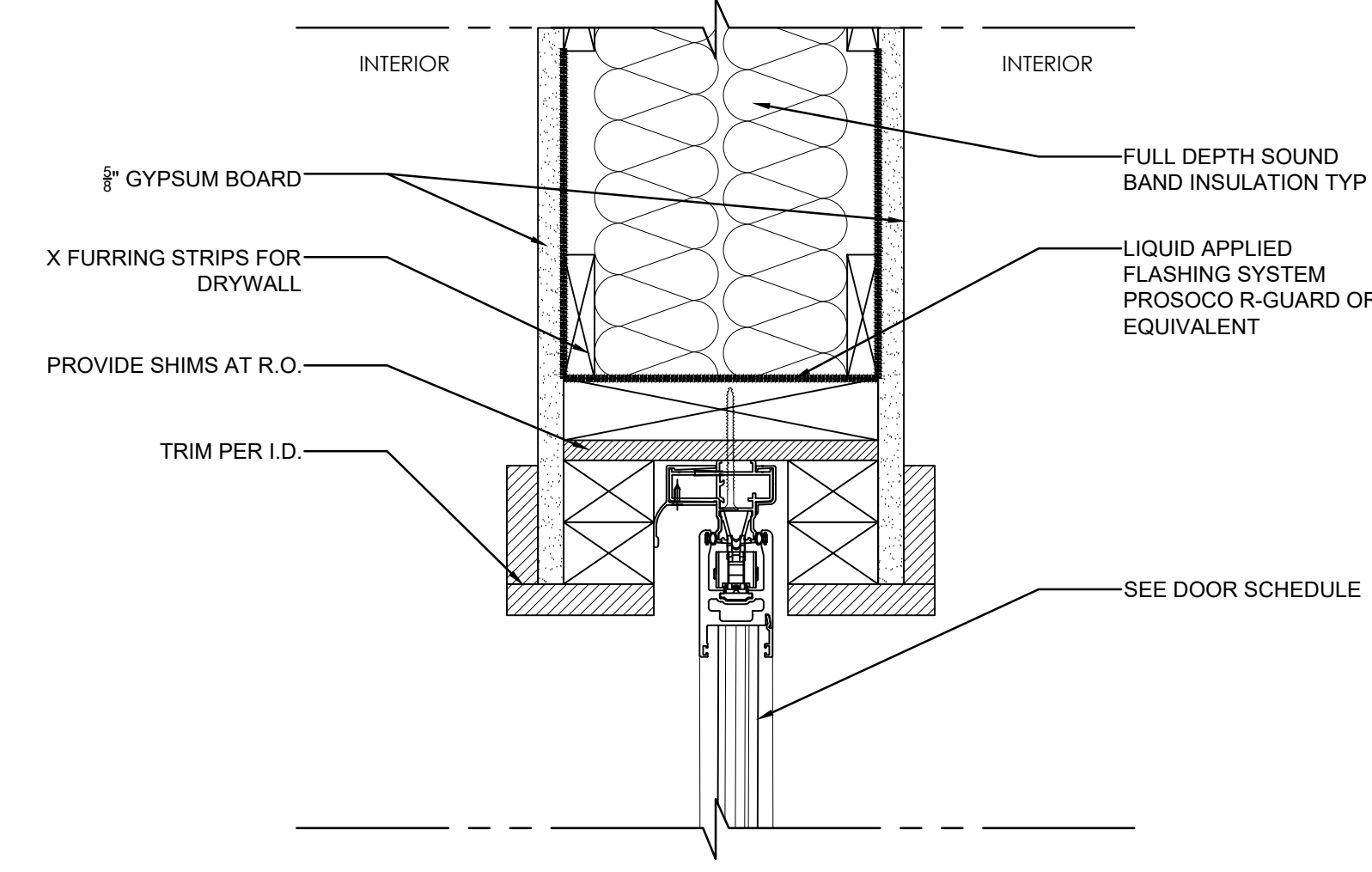
SWING DOOR HEAD DETAIL 4
SCALE: 3" = 1'-0"



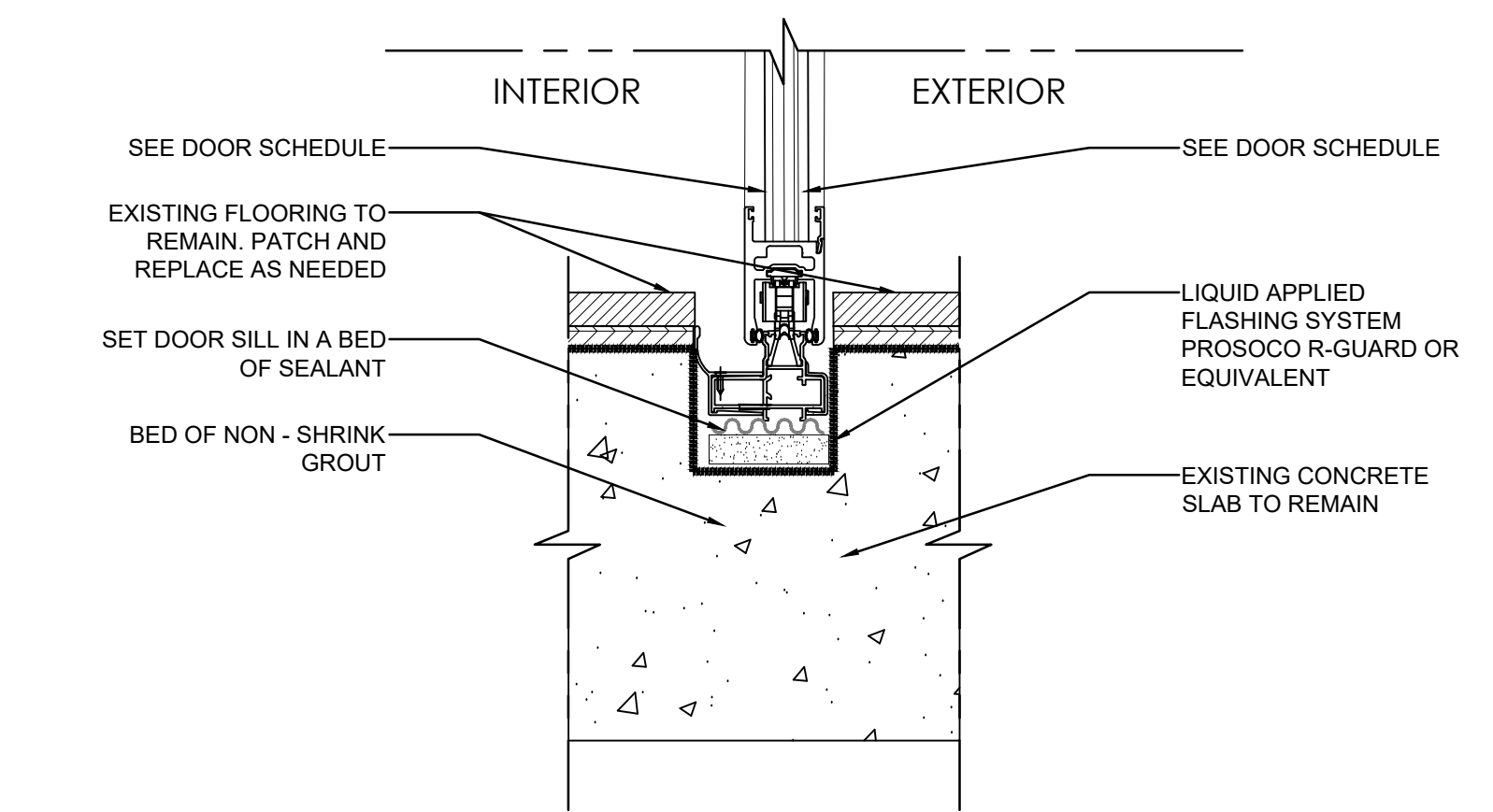
SWING DOOR SILL DETAIL 5
SCALE: 3" = 1'-0"



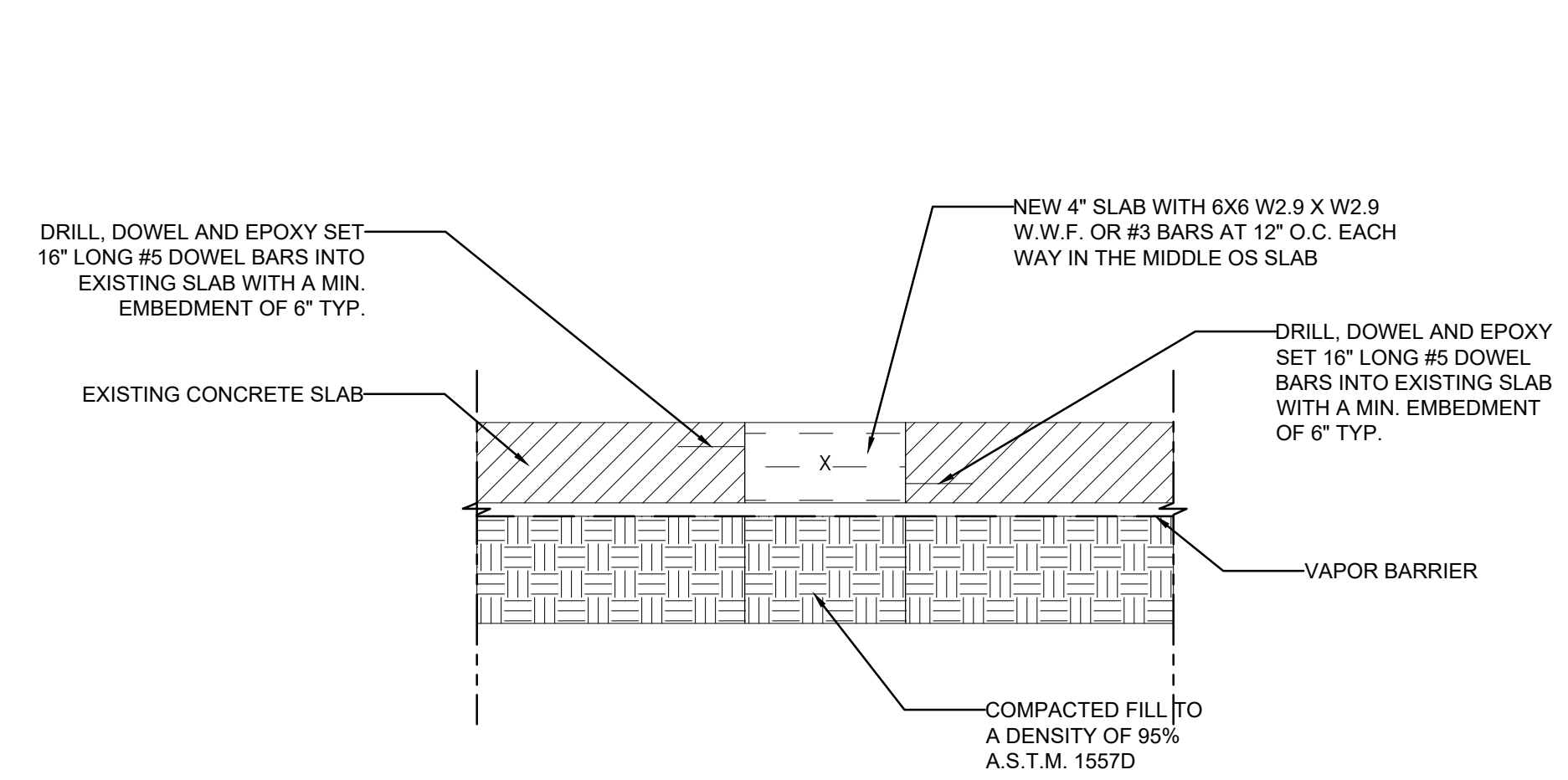
NEW ENTRY DOOR JAMB DETAIL 6
SCALE: 3" = 1'-0"



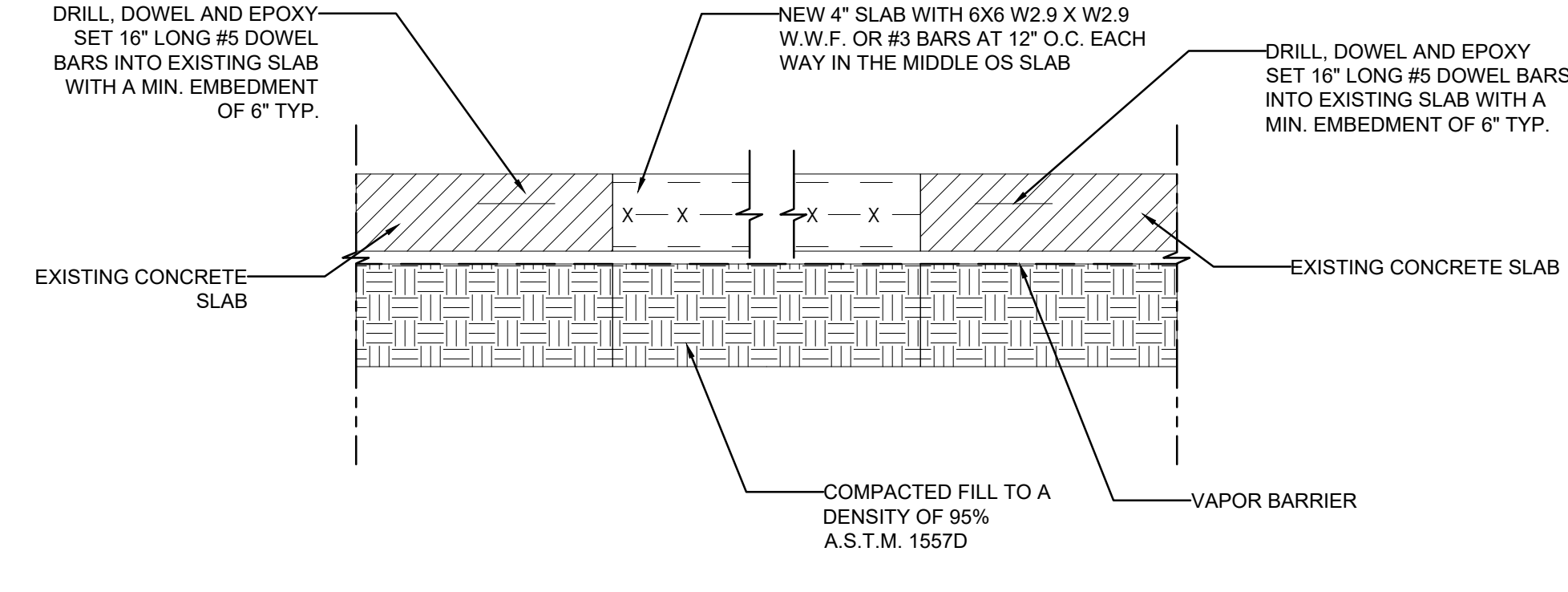
POCKET DOOR HEAD DETAIL 9
SCALE: 3" = 1'-0"



POCKET DOOR SILL DETAIL 10
SCALE: 3" = 1'-0"



TYPICAL SLAB REPAIR DETAIL (FOR 12" CUT IN SLAB) 11
SCALE: 1" = 1'-0"



TYPICAL SLAB REPAIR DETAIL (FOR 24" CUT IN SLAB) 12
SCALE: 1" = 1'-0"